



AGENDA

CITY OF OPELIKA HISTORIC PRESERVATION COMMISSION

June 13, 2024

4:30 p.m.

Meeting Chambers at Opelika Municipal Courtroom
300 MLK Boulevard

Call to Order

Approve May 9, 2024 minutes.

Public Comment/Citizen Communication

Old Business

New Business

1. 113 S 9th St: Downtown Historic District
COA: Replace Awning
Owner: Matt Poirier
2. 706 1st Ave: Downtown Historic District
COA: Front entry and Awning
Owner: Richard Patton
3. 501 N. 8th St: Northside Historic District
COA: Pavilion
Owner: Jane Fleming
4. 725 1st Ave: Downtown Historic District
COA: New Construction
Owner: Richard Patton
5. 100 S. 8th St: Downtown Historic District
COA: Front Façade Renovation
Owner: Race Cannon
6. 511 S. 8th St: Geneva Historic District
COA: Sheds
Owner: Cody Holly

7. 514 N. 9th St: Northside Historic District
COA: Window Replacement
Owner: Kathryn James
8. 314 3rd Ave: Northside Historic District
COA: Stairs
Owner: J. Manifold Construction
9. 904 5th Ave: Northside Historic District
COA: Extend Rear Porch Enclosure
Owner: Howard C. Harper, III

Other Business

10. Enforcement Report
11. Staff Report
12. Next meeting July 11, 2024
13. Adjournment

The City of Opelika complies with the Americans with Disabilities Act and will make reasonable arrangements to ensure accessibility to meetings. If you need special assistance, please call the City's ADA Coordinator 72 hours prior to the meeting at (334)705-5130.



HISTORIC PRESERVATION COMMISSION MINUTES

300 Martin Luther King Blvd.

May 9, 2024

TIME: 4:30 PM

1. A CALL TO ORDER

Rush Denson called the meeting to order at 4:32 p.m.

2. APPROVAL OF MINUTES

Mark Grantham motioned to approve the April 11, 2024 minutes. The motion was seconded by Linda Lanz. All approved.

1. Approve April 11, 2024 minutes

3. PUBLIC HEARINGS

(Limit comments to 3 minutes or less)

There were no comments.

4. OLD BUSINESS

There was no old business to discuss.

5. NEW BUSINESS

2. 1 N. 8th St: Downtown Historic District

COA: New Construction

Owner: Stone Martin Builders

Agenda Item #: 1

Meeting Date: 05/09/2024

Action Requested: COA: New Construction

Location of Property: 1 N. 8th St; Downtown Historic District

Petitioner: Stone Martin Builders

Resources:

Vacant lot located in the Downtown Historic District. Former site of the Opera House.

Proposal: The petitioner requests a COA for the following:

1. New construction two-story, wood-framed office building with covered, wrap around balcony and brick masonry veneer. The new office space will connect atmospherically to the existing office building on the first floor only. Specs include wood exterior doors painted; pre-finished aluminum clad wood windows at main entry with black finish; windows elsewhere to be storefront black; exterior lighting at balcony and ground floor to be cooper; sconces at parapet to be black; downspouts and gutter boxes to be pre-finished aluminum in black; exposed wood structure to be stained cedar; brick to be Sherman bluff heritage with ivory mortar; cementitious boards and cedar trim at main entry will be painted; steel pipe columns and structural beams and welded decorative elements to be painted black; cast stone equal to RockCast "Riesling"; cornice at main entry to be EDON fiberglass profile CR283, painted to match cast stone.
2. A sign to be painted directly on to the brick veneer, with colors to

match existing office painted signage.

Guidelines: **STANDARD # 9:** New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

NEW CONSTRUCTION

Opelika has several vacancies located within a block of commercial buildings. This configuration has been described as looking like a missing tooth. Open space that adjoins the street should be developed in scale, use, and character with the neighborhood. New designs, which express changing tastes and needs, tell the on—going story of a downtown’s evolution. New designs should not attempt to create a false “historic” appearance. New designs are evaluated in terms of how well they relate to neighboring buildings’ composition, materials, size/scale, rhythm of openings, orientation/alignment, setback/site, style, and landscape.

CANOPIES - #17.

Maintain original canopies and balconies.

PRESERVATION: Although canopies, porches, and balconies are not commonly found on commercial buildings, when they exist, they are distinctive features. Original materials, details, shape, outline, and roof height should be retained. Enclosing canopies and balconies is not appropriate if it destroys the visual openness of the porch appearance. Concrete canopies or covered walkways are not appropriate.

LIGHTING - #21.

Use light fixtures to unify the streetscape and accent the buildings at night.

STYLE: Period Street lighting, such as free—standing lamp posts, is presently available in several styles and forms. Traditional or modern designs are appropriate and ornate designs may be appropriate if they are based on documentation. Fake looking “colonial” lamp posts are not appropriate for most historic commercial areas.

TYPE: Incandescent, gas lighting, and vapor lighting are appropriate. Harsh cold florescent lighting should be avoided.

SIGNS #6.

Signs should complement, rather than compete with, the character of the building and downtown.

These design guidelines apply to the exterior signs within the Northside and Geneva Street Historic Preservation Districts. All signs in a historic preservation district must meet the provisions of the Opelika Zoning Ordinance as well as receive a Certificate of Appropriateness. A Certificate of Appropriateness review will determine whether a sign proposal meets the context of these guidelines.

Whenever there is a conflict between the regulations of the zoning ordinance and these guidelines, the more stringent regulations will take precedence. (*Updated 08/12/13*)

LOCATION: Signs should be designed with the historic character of the building and district in mind. The design should be compatible with the architectural

features of a building or neighboring buildings and should not obscure architectural details of the building. Locate signs on flat unadorned parts of the facade or paint directly onto the glass storefront. Hanging signs should not project more than 40 inches beyond adjoining buildings or obscure the view of the streetscape. A hanging sign should be at least 8 feet off the ground. Signs should not be located on the roof. They should be aligned with others in the area in order to create a more uniform appearance. (*Updated 08/12/14*)

TYPES: A variety of signs may adorn a building. Awning signs and small facade sign panels can attract the attention of passing motorists or pedestrians across the street. Signs painted on storefront windows and doors attract the attention of pedestrians. Hanging signs should be attached so that they do not damage the wall surface. Attach signs through joints in the masonry rather than to the brick itself. Moveable or portable signs are not appropriate. Sandwich Boards measuring up to 24” wide by 36” tall may be approved by staff and must be of an A-frame design. The use of painted wood signs is encouraged and the use of metal and plastic signs are discouraged. One sandwich sign per building is permitted, though buildings housing multiple businesses may share a slightly larger, 24” wide by 48” sign. (*Updated 08/12/14*)

SIZE: Size should be determined by the scale of the building, not whether the sign is meant to be viewed by a passing motorist or pedestrian. Generally, lettering should not exceed 18 inches high. The maximum area of any sign in a historic commercial district shall be limited to twenty-four (24) square feet, and in the Gateway Corridor (Geneva St, 10th St, Torbert Ave, 2nd Ave) shall be limited to forty-eight (48) square feet, unless acceptable documentation proves that original signage from the date of construction of the building or the most significant architectural renovation of the building was larger.

MATERIALS: Sign materials should be compatible with those of the historic building. Traditional signs were often painted on finished wood or metal panels. Signs painted onto fabric awnings are effective. Unfinished plywood and plastic signs may not be appropriate in the downtown.

DESIGN: New signs should not attempt to look older than the building. Colonial designs are not appropriate on Victorian buildings. Custom signs are preferable to mass-produced standardized signs. Simple designs which are subordinate to the building are appropriate. Where several businesses occupy a building, it is best to coordinate the signs. The use of symbolic, three-dimensional signs, such as the red and white barbers’ pole, is encouraged.

LIGHTING: The sign should be illuminated to fit the design of the building. The color and intensity of illumination are central to achieving a complimentary balance of the building and signs. Light intensity should not overpower the building or street edge. Sign lighting should be subdued or indirect. Internally lit (*including digital*) plastic signs are not appropriate, although, in some cases, neon signs may be appropriate. Neon lighting should be used in limited volume to ensure that it does not become visually obtrusive and dominate the street frontage. Incandescent lights are preferable to the harsh, cold appearance of fluorescent lights. Flashing lights are not appropriate. (*updated 08/12/14*)

HISTORIC SIGNS: Retain historic signs whenever possible. (See Preservation Brief #25.) Preserve signs that: reflect the history of a building or district; are characteristic of a particular historic period or style; are associated with events, people, or places; are evidence of the history of a product or business; display excellent craftsmanship, use of materials, or design; are incorporated into the buildings design or physical fabric. *Photo evidence of previous sign design and/or style is encouraged.* (*Updated 08/12/14*).

Staff recommendation:

1. *Staff recommends approval of proposed design for new commercial property. New construction should be compatible with other architectural styles in the district but reflect the era of its own construction. It should be compatible in massing, size, and scale.*
2. *Staff recommends approval of painted sign facing N. Railroad Ave to match existing sign facing S. 8th Street.*
3. *Construction of the balcony will require city council approval prior to*

construction.

Discussion:

Staff gave an overview of the proposed new construction building and staff recommendations.

Lee Bryant with Barrett Architecture Studio stated that the design reflects architecture motifs of downtown Opelika with a corner entrance like the building previously on this lot. Changes were made after receiving staff comments. The balcony and ceiling height of first floor. The parapet height is approximately 1.5ft higher. Columns will be prefab cast iron. The brick is brown to give a richer texture with ivory mortar. Cementous board and wood trim will all be painted. Windows on the front will be aluminum clad wood to give a more traditional profile. All others provide a black storefront. The lighting of sconces and pendants are all the same style of copper lantern look and gooseneck lighting on the top. Signage will be painted directly on the brick. An additional cast stone sign will be on the top front with Stone Martin and logo. The building is an expansion of the Stone Martin office.

Rush Denson asked what the intention is on brick and grout to match the historical effect of surrounding properties. Mr. Bryant responded that the brick has an old weather texture with off white mortar.

John March stated it is difficult to make new brick not be apparent. If the brick is laid like it normally is in today’s market, the building could look out of place. The mortar joints will look new. Sensitivity to the way the brick is laid, and mortar used will make a significant difference.

Debbie Pubes said this is a lot of brick and the building will be a focal point downtown. Can there be more interest and detail given to the design. Mr. Bryant stated there will be brick pilasters at the corners, and a few places down the façade. Debbie said having a pattern in the brick will better tie the building in.

Rush Denson asked what material would be under the windows. Mr. Bryant said Cementous and wood paneling would be used.

Aaron said there is a lot of brick for a standard building. If you run a 100ft wall without any character it will stand out from the rest of the buildings. Is there anyway the brick can be feathered so it doesn’t look so new.

John Marsh is important how the mortar joints are striked. Mr. Bryant said the photo does not show the details of the brick. There will be soldier course work.

Planning Director Matt Mosley said while reviewing the plans, staff tried to determine which side would be the primary façade. Most corner buildings downtown with a short side/long side, the short side is the primary façade with the long side being unadorned.

Rush Denson stated that because this building will be substantial, the details are important.

John Marsh made a motion to approve and asked that the builder be sensitive to the brickwork. The motion was seconded by Mark Grantham. All approved.

3. 712 N. Railroad Ave: Downtown Historic District
COA: Facade Renovation
Owner: Richard Patton
Agenda Item #: 2
Meeting Date: 05/09/2024
Action Requested: COA: Replace garage doors, Install roll up doors and new entry
Doors, Clean and repoint brick.
- Location of Property:** 712 N. Railroad Ave; Downtown Historic District
Petitioner: Richard Patton

Resources:

Building Early 20th century; one story brick load bearing wall construction; sheet metal gutter. New sheet metal garage.

Proposal: The petitioner requests a COA for the following:

1. Replace the left garage door with roll-up glass and black framed aluminum glazed door.
2. Replace the right garage door with recessed black framed aluminum storefront and side entry door.
3. Replace two single doors with wood doors.
4. Install individual painted aluminum lettering measuring 14"x 192" (~32SF) on front facade.

Proposed Guidelines:

STOREFRONTS

Through time, many of the historic commercial buildings in Opelika have been altered to create a more up-to-date look in keeping with changing trends and fashions. For example, one trend, which swept through Main Street cities across the country in the 1950s, 60s, and 70s, was concealing the ornamental details and materials of the historic facade behind a plain front in order to make the building appear modern and streamlined. In Opelika, change occurred more often on the storefront than on the upper level of the facade. The first approach, in rehabilitation, is to uncover the original facade, and storefront whenever possible. When the original facade no longer exists, either leave it as it is or recreate the facade and storefront based on historical or physical evidence. If documentation does not exist about the appearance of the original facade one option is to create a new design composed of traditional features which are compatible with nearby buildings. A few storefronts have evolved over the years and have acquired their own sense of identity. For example, a glass art Deco storefront, added to a Victorian building, may have achieved importance and should be preserved. For more detailed information on Storefront Rehabilitation, refer to Technical Brief #11, which is included in this notebook.

RECONSTRUCTED STOREFRONT -#3

Reconstruction of a historic storefront should be based on physical evidence and historical documentation such as photographs.

RE-CONSTRUCTION: Obtain historic photographs, post cards of downtown, and historical background about the building by contacting the historical society, library, and/or state archives.

DOORS - #9.

Preserve the original front doors and opening.

PRESERVATION: The original size and shape of door openings should be maintained, not in-filled. Original doors and door hardware should be repaired and maintained. Replacement doors, when necessary, should be compatible with the original doors in terms of style, size, material, and glass panel configuration.

NEW OPENINGS: When the creation of new openings is necessary in order to meet fire codes, they should be located on sides or to the rear of buildings, rather than on the front. New openings, when permitted, should be compatible in scale, size, proportion, and placement to historic openings.

CLOSING AN OPENING: If the blocking of an opening is allowed, infill materials should be compatible with the building and should be placed 2” to 6” back from the building face. Use of fixed reflective glass is not recommended.

MASONRY - #15.

Original masonry including brick, stone, terra cotta, and stucco walls and details should be preserved and maintained.

CLEANING: Cleaning of masonry should be done by the gentlest means possible. Never sandblast a masonry building. Do a test patch prior to undertaking any cleaning method. Do not paint unpainted masonry. Once painted, it is often better to repaint rather than remove paint. Carefully investigate the condition of masonry before removing stucco. (See Preservation Brief #1, 6, 7)

REPAIRING: Waterproofing sealants should not be used on masonry, unless they are vapor permeable. Repairs should match the historic masonry in size, shape, texture, and color. Repointing of existing masonry should incorporate the same mortar mix, tooling, and color as the historic masonry pointing. (See Preservation Brief #2)

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LOCATION: Signs should be designed with the historic character of the building and district in mind. The design should be compatible with the architectural features of a building or neighboring buildings and should not obscure architectural details of the building. Locate signs on flat unadorned parts of the facade or paint directly onto the glass storefront. Hanging signs should not project more than 40 inches beyond adjoining buildings or obscure the view of the streetscape. A hanging sign should be at least 8 feet off the ground. Signs should not be located on the roof. They should be aligned with others in the area in order to create a more uniform appearance. (*Updated 08/12/14*)

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The use of painted wood signs is encouraged and the use of metal and plastic signs are discouraged. One sandwich sign per building is permitted, though buildings housing multiple businesses may share a slightly larger, 24” wide by 48” sign. (*Updated 08/12/14*)

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and white barbers’ pole, is encouraged.

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Staff recommendation:

- 1. *Staff recommends approval of roll-up aluminum and glass garage door on right.*
- 2. *Staff recommends approval of recessed entry, retaining original opening, and side entry door.*
- 3. *Staff recommends approval of wood single doors.*
- 4. *Staff recommends approval of individual painted aluminum lettering for signage mounted on front facade.*

Discussion:

Staff provided the details of the façade renovation in the Cotton District with staff recommendations.

Richard Patton stated that the signage preference is for it to be on the parapet wall. He isn’t sure if the parapet is considered the roof top. It works well with the design sitting between the two parapets. If it cannot be on the parapet, they will bring it down to the brick wall.

John Marsh said in the past the parapet and roof have been viewed as separate.

Matt Mosley stated the sign on the parapet will require a variance by the Zoning Board of Adjustment.

Debbie Purves motioned to approve as presented contingent on receiving variance from ZBA. John Marsh seconded. All approved.

- 4. 709 1st Ave: Downtown Historic District
COA: Facade Renovation
Owner: Richard Patton

Agenda Item #: 3
Meeting Date: 05/09/2024
Action Requested: COA: Façade Renovation
Location of Property: 709 1st Ave; Downtown Historic District
Petitioner: Richard Patton

Resources:

Montgomery Company-Old Renfro Brothers Cotton Warehouse: 1878, enlarged in 1909-1924; one story brick load bearing wall construction round and flat arched openings; corbelled brick cornice. Part of this section of the building that dates from 1909-1924 has been removed. However, the alterations have maintained the vernacular with retention of original round arched openings for doors.

Proposal: The petitioner requests a COA for the following:

1. This façade is from 1st Ave and N. Railroad Ave leading into The Railyard. This outdoor space is next to John Emerald Distillery.
2. The brick will be repointed and a new 12ft wood fence with sliding gate will be installed. Fence to be stained or painted.
3. Install wood doors on all arched garage openings and wood doors on utility closets. Doors to be stained or painted.

Proposed Guidelines:

STANDARD #5: Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be retained and preserved.

MASONRY - #15.

Original masonry including brick, stone, terra cotta, and stucco walls and details should be preserved and maintained.

CLEANING: Cleaning of masonry should be done by the gentlest means possible. Never sandblast a masonry building. Do a test patch prior to undertaking any cleaning method. Once painted, it is often better to repaint rather than remove paint. Carefully investigate the condition of masonry before removing stucco. (See Preservation Brief #1, 6, 7) In almost all cases, unpainted masonry should not be painted. The painting of unpainted brick should only be considered under the following circumstances:

1. The masonry is not historic, nor is likely to become contributing in the future.
2. The brick is soft brick or porous historic brick that was intended to be sealed. Most known brick in Opelika’s historic districts have more modern bricks.
3. A majority of the existing structure’s masonry is already painted.
4. Masonry at ground level or below needs to be waterproofed to exclude ground water.
5. The structure has been extensively damaged by fire, natural disaster, or pre-existing alterations that the masonry no longer conveys the buildings historic character. This should not include major additions or changes that show the historic evolution of a building. *(rev. 01/19/2022)*

REPAIRING: Waterproofing sealants should not be used on masonry, unless they are vapor permeable. Repairs should match the historic masonry in size, shape, texture, and color. Repointing of existing masonry should incorporate the same mortar mix, tooling, and color as the historic masonry pointing. (See Preservation Brief #2)

DOORS - #9.

Preserve the original front doors and opening.

PRESERVATION: The original size and shape of door openings should be maintained, not in-filled. Original doors and door hardware should be repaired and maintained. Replacement doors, when necessary, should be compatible with the original doors in terms of style, size, material, and glass panel configuration.

NEW OPENINGS: When the creation of new openings is necessary in order to meet fire codes, they should be located on sides or to the rear of buildings, rather than on the front. New openings, when permitted, should be compatible in scale, size, proportion, and placement to historic openings.

CLOSING AN OPENING: If the blocking of an opening is allowed, infill materials should be compatible with the building and should be placed 2” to 6” back from the building face. Use of fixed reflective glass is not recommended.

Staff recommendation:

- 1. Staff recommends approval of repointing brick. Mortar should incorporate the same mortar mix, tooling, and color as the historic masonry pointing.
- 2. Staff recommends approval of wood doors for garage openings and wood doors on utility/storage rooms. All doors should be stained or painted.
- 3. Staff recommends approval of 12ft privacy fence with sliding gate to allow for private events. However, fencing above 7ft in height requires engineering designs and must be approved by the Inspections Department prior to installation. Fence should be stained or painted.

Discussion:

Staff gave descriptions of the proposed project with staff recommendations.
There was no further discussion.

Debbie Purves motioned to approve. The motion was seconded by Aaron Kovak. All approved

- 5. 725 1st Ave: Downtown Historic District
COA: New Construction
Owner: Richard Patton
Agenda Item #: 4
Meeting Date: 05/09/2024
Action Requested: COA: New Construction-Preliminary Review only
Location of Property: 725 1st Ave; Downtown Historic District
Petitioner: Richard Patton

Resources:

Vacant lot at the corner of 1st Avenue (Griff Goods) and S. 8th Street (Stone Martin).

Proposal: The petitioner requests a COA for the following:

- 1. New construction commercial two-story building. The exterior will be Shou Sugi Ban. This wood is preserved by charring the wood making it fire retardant as well as resistant to rot, insects, and decay.
- 2. Windows will all be black metal framing. No additional specs provided.

Proposed Guidelines:

STANDARD #3: Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

Guidelines which address issues concerning New Construction, Relocation, Additions, and Demolition are extremely important. The intent of historic district zoning is not to freeze an area in time, but rather to encourage new, complementary buildings on vacant sites on the Main Street.

NEW CONSTRUCTION

Opelika has several vacancies located within a block of commercial buildings. This configuration has been described as looking like a missing tooth. Open space that adjoins the street should be developed in scale, use, and character with the neighborhood. New designs, which express changing tastes and needs, tell the on—going story of a downtown’s evolution. New designs should not attempt to create a false “historic” appearance. New designs are evaluated in terms of how well they relate to neighboring buildings’ composition, materials, size/scale, rhythm of openings, orientation/alignment, setback/site, style, and landscape.

NEW CONSTRUCTION - #29.

New construction should be compatible with neighboring buildings.

COMPOSITION: New buildings should define the three basic divisions of a commercial facade: a top which is typically a flat roof with a parapet and decorative cornice; a middle area defined by the upper story windows which are vertical and regularly placed; and a bottom which is transparent and has the elements of a storefront, including a bulkhead, a display window, and a transom.

MATERIALS: New materials should relate to the historic materials in terms of texture, scale, color, and composition. New buildings should utilize the same materials as those on existing historic structures. Masonry, particularly brick, is an appropriate material. Inappropriate materials are plywood, composition panel, plastic, imitation brick or stone, vinyl or synthetic siding, sheet metal, and stone veneer. Neither stucco nor concrete block impart the same scale or texture as brick.

SIZE / SCALE: New buildings should be in scale with existing buildings. This means that they should not be appreciably taller, shorter, wider, or narrower than the buildings adjacent to them. Multi—story buildings should have a vertical emphasis, meaning that they should be taller than they are wide. The scale of key elements and details should refer to nearby buildings.

RHYTHM OF OPENINGS: The design, scale, and placement of openings in buildings, which provide a visual rhythm along the street, should be continued. Walls should be divided into bays by windows. New construction should avoid creating long unrelieved expanses of wall along the street. Window openings should be vertically proportioned and placed symmetrically on the facade. They should be slightly recessed back from the surface. Windows should be defined by sills, lintels, or decorative surrounds.

ORIENTATION / ALIGNMENT: Orientation of new construction should match that of existing adjacent buildings. Facades should face the same direction as those of neighboring buildings. The similar heights of buildings are emphasized by the alignment of cornices and/or horizontal bands of second story windows. New construction should continue the visual continuity of horizontal elements.

SETBACK / SPACING: New buildings should conform with adjacent or surrounding buildings in terms of their setback and the spacing between buildings. Historically, blocks of commercial buildings directly fronting the sidewalk are attached to each other, sharing a party wall. New buildings should create a continuously walled complex that holds the lines of the streets. Generally, avoid buildings designed as free-standing objects.

STYLE: The design of new buildings should complement existing historical architecture rather than attempt to imitate it. The new construction should be distinguishable from the old so that the evolution of the Main Street district can be visually read. New designs should creatively draw on the important characteristics of existing buildings.

LANDSCAPE: Site planning should respect the precedents set by other buildings in the block. In areas where many trees form a bower across the streets, new plantings should be planned to achieve a similar effect. For walls, fences, and paving, use materials consistently found in the district. (refer to Design Guideline #22)

Staff recommendation:

1. The Commission should consider the following guidelines during preliminary review:
 - New materials should relate to historic materials in terms of texture, scale, composition and utilize the same materials as those on existing historic structures.
 - New buildings should define the three basic divisions of a

commercial façade: a top which is typically a flat roof with a parapet and decorative cornice; a middle area defined by the upper story windows which are vertical and regularly placed; and a bottom which is transparent and has the elements of a storefront, including bulkhead, a display window, and a transom.

- New designs should creatively draw on the important characteristics of existing buildings.
- New buildings should be in scale with existing buildings. They should not be appreciably taller, shorter, wider, or narrower than the buildings adjacent to them. The scale of key elements and details should refer to nearby buildings.
- The design, scale, and placement of openings, which provide a visual rhythm along the street, should be continued. Walls should be divided into bays by windows. New construction should avoid creating long unrelieved expanses of wall along the street. Window openings should be vertically proportioned and placed symmetrically on the façade. Windows should be defined by sills, lintels, or decorative surrounds.

Discussion:

Staff explained the design of this new construction project. The applicant is here for preliminary review only seeking thoughts and comments on the design.

Richard Patton stated that they realize the odd design and shape, but there is purpose in it. The architect, David Hill, provided a model for everyone to look at. He said architecture is about any program heeded and built within its time. We want to celebrate the wood industry. A CLT (Cross Laminated Timber) plant has recently been built in Dothan, AL. The interior will be light and airy like a Danish interior. The exterior will celebrate various stains and finishes available for wood in our region. They have tried to not copy or emulate surrounding historic structures but put up a building that speaks to today's time and age. This is a three-story building with a mezzanine on the first floor. The form of the building takes in the outdoor courtyard for Sneak and Dawdle. The first floor will have a bakery and small hamburger restaurant, the second floor an art gallery, and the third floor a roof top bar.

Linda Lanz asked if there are building height restrictions for downtown. Matt Mosley responded that most commercial zones have a 75ft restriction. There is an area around the airport where this is modified due to the flight pattern. In short, the guidelines say buildings should be in context and similarly scaled to the buildings around it; no more than one story.

Rush Denson asked if it helps that some buildings, like the church, are at a higher elevation. Does this help taller buildings to blend in better. Matt Mosley stated there is a two-story building across the street, Stone Martin is a one story with mezzanine built in, and Griff Goods which is a true one story. The design is thought out and creative. However, there is no defined break line for the first or second floor. The typical downtown building looks somewhat stacked on top. This building is much more vertical. The height is definitely taller than surrounding buildings, but the height isn't the most concerning. Richard Patton provided there is purpose in the height beyond the design. Being a skinnier building, the height gives them more space, and all the glass helps it feel more spacious.

Rush Denson asked if the rooftop bar is on top of the second floor creating a third floor. Richard said that there is an indoor space on the rooftop that is very small. Then there is outdoor covered and uncovered garden areas. The indoor space has maybe four seats.

Matt Mosley said there are items identified as concerns and need to be looked at more. As you come down 1st Avenue you have a very regular kind of façade wall. This design has a turn or angle as possible a design feature for light. This is different from any other buildings downtown. There needs to be some sort of storefront that complements the warehouse district or the more traditional storefronts on 8th Street where there are some larger windows and garage doors. As you move up from the first floor to the second and third story, the window pattern is definitely more a contemporary design. We talk a lot about having a regular window pattern on those residential or upper stories. This design is more

grouped and vertical.

David Hill explained the angle at the corner was borrowed from downtown the 45-degree angle that opens the front to the intersection instead of facing one street or the other. This form allows us to go all the way to the second and third floor as well to open views up both streets. There is no manipulation between the first and second floor. We are most interested in getting feedback on the material, wood, on the exterior of the building and how we could manipulate that wood to delineate each floor. The Shou Sugi Ban material is simply charcoaling /burning the wood and oiling it to preserve the wood much longer than stain or paint. It's much more sustainable. Richard Patton said this application is more fire and termite resistant. The window patterning can be addressed. They are trying to make the language about the CLT panels and not about masonry. The traditional window pattern may require chasing loads through a column or pier. With the CLT system, we are free from a lot of that structural chasing. This allows it to be the architecture of this time and building technology instead of emulating a superficial version of masonry.

Rush Denson stated that from our current guidelines, how does the wood fit? John Marsh said wood is an acceptable material. Matt Mosley explained that wood is an acceptable material but there are not any buildings downtown where wood is the primary material. It is used more as an accent feature. The guidelines say new materials should relate to historic materials in terms of texture, scale, composition and utilize the same materials on existing historic structures. The side elevation shows a very vertical panel. When thinking of downtown, you think of horizontal brick rows. In some places there are some smooth facades. This design doesn't convey the same texture or pattern. Approving a building of this style, you are going out on a limb with it being of its own style and current material standards. How does that relate and tie back to the context of downtown.

Linda Lanz said she thinks it is an innovative and beautiful design. The concern is how does it fit in? This would start to change the look and feel of the downtown historic district. Are we setting a precedent for contemporary architecture? Rush Denson asked if the concern was the style and appearance more than the material? Linda Lanz responded yes, it seems disconnected.

Debbie Purves agreed that it is a great design. But there is nothing that brings historic downtown in this building.

David Hall said they are trying to match the scale of the pattern or horizontal appropriateness, but in the scale that this is not a 4x8 sheet of plywood but a piece of wood that has been cut and finished then applied in scale of the surface is an aggregation of the scale of the material that has been applied. We are trying to take what we have learned of the historic fabric Opelika has and translate it. Maybe we have translated it too much and made it too abstract. We don't want to superficially apply historic patterning on a new building. We want to learn the essence of architecture from history and translate it into modern day architecture and reapply it in an effective and caring way. Richard Patton said 1st Ave is its own little block, rough and tumble, and the clients coming into the building are unique businesses. We want the building to pull people into the spot.

Rush Denson asked if the applicant could overcome the CLT material concern and use brick. There are also some design issues.

John Marsh said he loves the courageous nature of what they are trying to do. Does this belong? Has there been wood structures downtown that are minimalistic in appearance that have this similar scale and we don't have them anymore? Aaron asked if the Art Houz is inside the historic district. The answer was no. John Marsh found two photos of structures that were once downtown that would not be allowed today. One is a wood structure the other is the old theatre.

John Marsh said some details that could be added such as framed out windows to break up the wood, define lines and top of the parapet, and not have notches. There have been full wood structures downtown that look in this manner. This design could be the next thing protected in the next 50-100 years if it is done well. We don't legislate the finish on materials. You just went so far. If you could come back in a little.

The applicant will return with revised drawings.

No motions were made.

6. Presentation: The Walker Collaborative
Opelika Historic Design Review Guidelines

Phil Walker and Keith Covington of Walker Collaborative provided an overview of the revised Design Guidelines. Questions were answered as the draft document was explained. Staff will now take any comments received into consideration and provide an edited copy for the consultant team to finalize the new document.

6. OTHER BUSINESS

7. Enforcement Report

8. Staff Report

9. Next meeting DATE

1. Next meeting June 13, 2024

7. ADJOURN

City of Opelika
Historic Preservation Commission
Staff Report



Agenda Item #: 1
Meeting Date: 06/13/24
Action Requested: COA: Replace Awning
Location of Property: 113 S. 9th St; Downtown Historic District
Petitioner: Matt Poirier

Resources:

Casey Furniture: After 1924; one story brick load bearing wall construction; original façade above glass and wood storefront.

Proposal: The petitioner requests a COA for the following:

- 1. Replace current awning with black metal awning measuring 5’deep x 42’ wide supported by wooden corbels. The building is to be repainted dark grey with subtle trim color.

Guidelines:

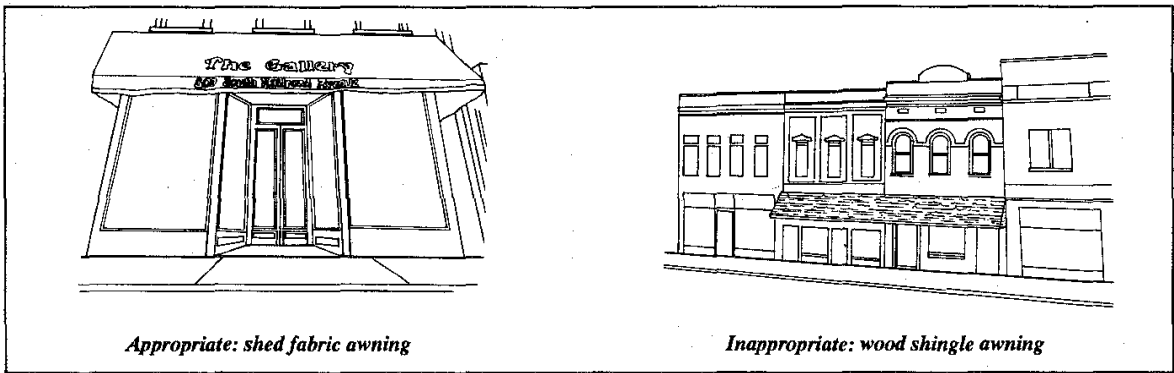
AWNINGS - #5.

Awnings should be compatible with the design of the building and the streetscape.

PRESERVATION: Preserve original canopies and awning hardware where feasible.

MATERIALS: Fabric awnings are appropriate. Vinyl coated canvas and acrylic awnings may be acceptable. Metal awnings may be appropriate in a few instances, but rough sawn wood, plastic, or asphalt shingle awnings give an immobile, hard, mansard—like appearance and are not appropriate.

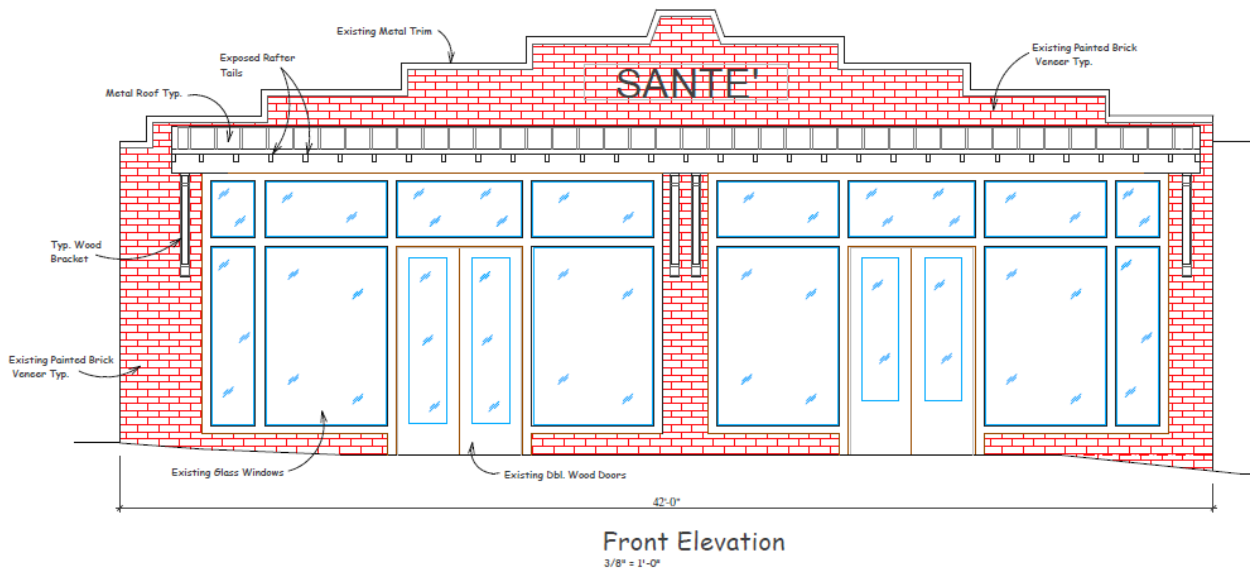
DESIGN: Retractable or fixed standard shed—type canvas awnings are appropriate. Fake mansard roofs and rustic wood shingle awnings are inappropriate. Carefully coordinate the awning color with other building design features.



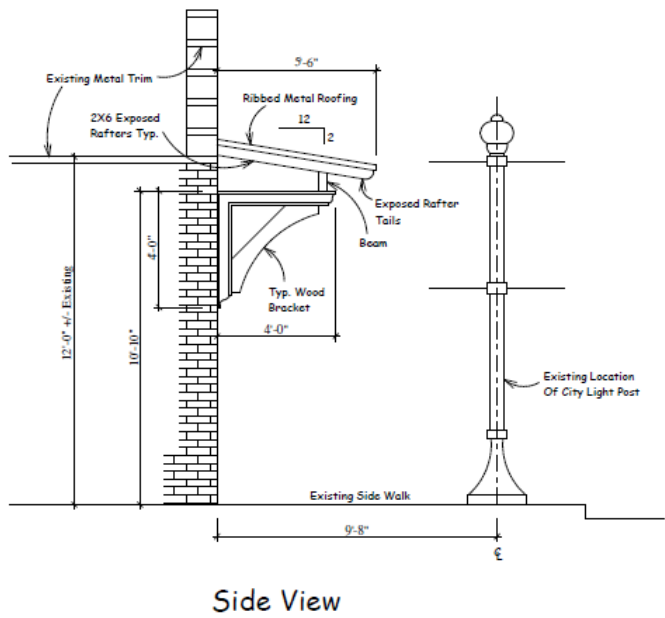
LOCATION: The awning should fit the dimensions of the storefront within the masonry opening and should not obscure architectural details. Mount the awning just above or just below the transom. Where

feasible, align the awning so that it is the same height as others on the block. Upper story awnings should fit inside the window surround. Arched windows should have awnings shaped like the curvature of the arch, and rectangular windows should have rectangular awnings.

Photo’s:



Front Elevation



Side Elevation

Staff recommendation:

- 1. Staff recommends approval of black metal awing with wood corbels.

City of Opelika
Historic Preservation Commission
Staff Report



Agenda Item #: 2
Meeting Date: 06/13/2024
Action Requested: COA: Install glass and steel entryway and awning.
Location of Property: 706 1st Ave; Downtown Historic District
Petitioner: Richard Patton

Resources:

Building: Before 1924; one story brick load bearing wall construction various brick patterns and textures on façade; wood siding infill. New siding and new garage door installed.

Proposal: The petitioner requests a COA for the following:

1. Add back into the original opening a glass and aluminum entryway. Install two glass and metal doors and metal framed storefront windows. Infill of steel panels will be above glass.
2. Install an overlapping steel panel awning above the storefront measuring 18'6" wide x 3-4' deep concealing the steel paneled infill.

Proposed Guidelines:

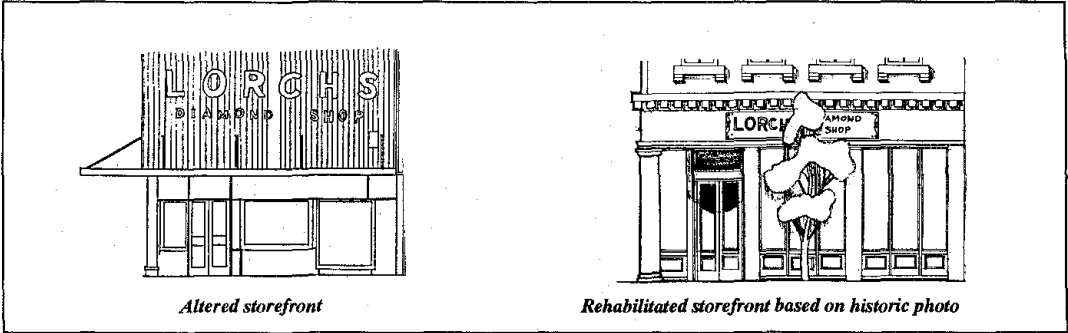
STOREFRONTS

Through time, many of the historic commercial buildings in Opelika have been altered to create a more up-to-date look in keeping with changing trends and fashions. For example, one trend, which swept through Main Street cities across the country in the 1950s, 60s, and 70s, was concealing the ornamental details and materials of the historic facade behind a plain front in order to make the building appear modern and streamlined. In Opelika, change occurred more often on the storefront than on the upper level of the facade. The first approach, in rehabilitation, is to uncover the original facade, and storefront whenever possible. When the original facade no longer exists, either leave it as it is or recreate the facade and storefront based on historical or physical evidence. If documentation does not exist about the appearance of the original facade one option is to create a new design composed of traditional features which are compatible with nearby buildings. A few storefronts have evolved over the years and have acquired their own sense of identity. For example, a glass art Deco storefront, added to a Victorian building, may have achieved importance and should be preserved. For more detailed information on Storefront Rehabilitation, refer to Technical Brief #11, which is included in this notebook.

RECONSTRUCTED STOREFRONT -#3

Reconstruction of a historic storefront should be based on physical evidence and historical documentation such as photographs.

RE-CONSTRUCTION: Obtain historic photographs, post cards of downtown, and historical background about the building by contacting the historical society, library, and/or state archives.



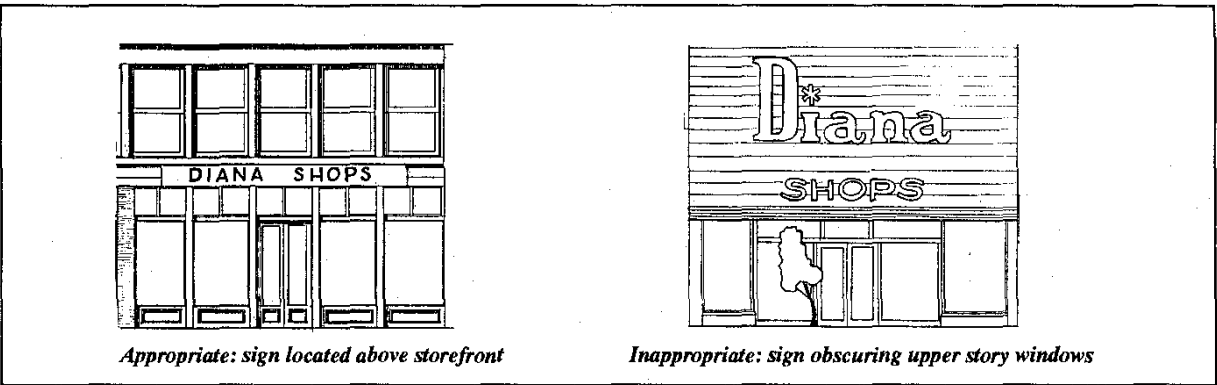
DOORS - #9.

Preserve the original front doors and opening.

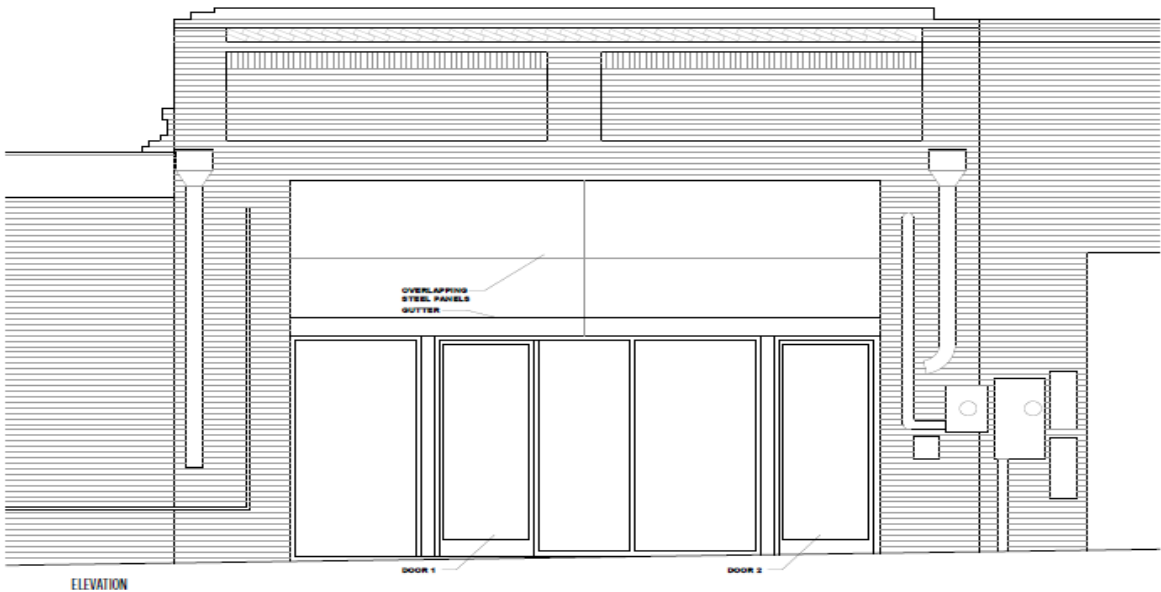
PRESERVATION: The original size and shape of door openings should be maintained, not in-filled. Original doors and door hardware should be repaired and maintained. Replacement doors, when necessary, should be compatible with the original doors in terms of style, size, material, and glass panel configuration.

NEW OPENINGS: When the creation of new openings is necessary in order to meet fire codes, they should be located on sides or to the rear of buildings, rather than on the front. New openings, when permitted, should be compatible in scale, size, proportion, and placement to historic openings.

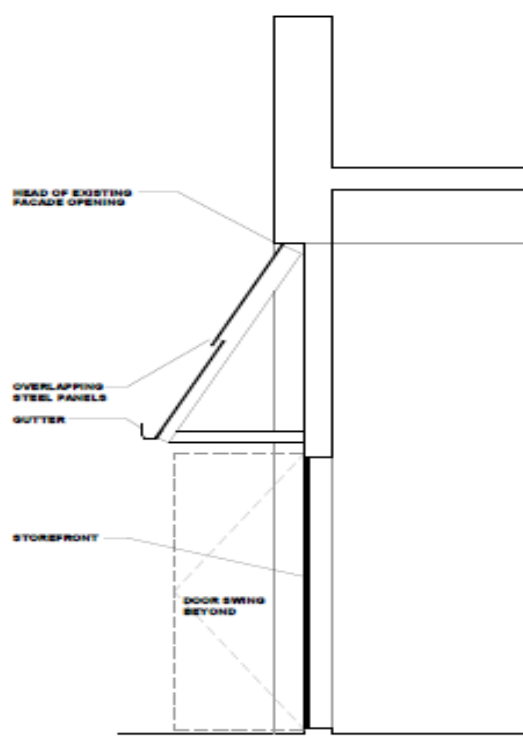
CLOSING AN OPENING: If the blocking of an opening is allowed, infill materials should be compatible with the building and should be placed 2” to 6” back from the building face. Use of fixed reflective glass is not recommended.



Photo's:



New glass and aluminum storefront with steal panel infill.



Overlapping steel panel awning with metal frame and gutter.



8'H X 3'W BLACK ANODIZED
MEDIUM STYLE ALUMINUM STOREFRONT DOOR

Storefront door (x2)



BLACK PAINTED OR ANODIZED ALUMINUM STOREFRONT SYSTEM

Storefront windows



WEATHERED STEEL

Weathered steel panel

Staff recommendation:

- 1. Staff recommends approval of glass metal doors.*
- 2. Staff recommends approval of glass and metal storefront windows.*
- 3. Staff recommends approval of steel paneled awning with metal supports.*

City of Opelika
Historic Preservation Commission
Staff Report



Agenda Item #: 3
Meeting Date: 06/13/2024
Action Requested: RETROACTIVE COA: Add Pavilion to Side Yard
Location of Property: 501 N. 8th St; Northside Historic District
Petitioner: Jane Fleming

Resources:

Circa 1925. One story, wood frame bungalow with hip roof of asphalt shingles, exposed rafters under eaves, trip dormer with window band, off centered double leaf wood and plate glass doors, flanking vertical eight pane window bands with horizontal window band over verticals, short double colonettes on brick bases, closed rail balustrade. Contributing Resource.

Proposal: The petitioner requests a COA for the following:

1. Construct an 12' x 17' Summerhouse Pavilion with architectural shingles on side yard. All exterior wood will be painted white. Ceiling beadboard will be installed with two ceiling fans.

Guidelines:

. THE ENVIRONMENT:

1. The environment consists of all exterior features in the designated historic districts which are visible to the public and includes structures, outbuildings, landscaping, streets, appurtenances, trees, mass and spacing between structures, scale, mass, color and materials of buildings that give a neighborhood its distinguishing character and contributes to its historic district designation.
2. Significant landscape features such as public parks and gardens, street lighting, signs, street benches, sidewalks, streets, alleys and building setbacks that have traditionally been maintained in the historic district and that contribute to its historic character should be retained. Existing streets should not be widened. paving material should not be changed to a different texture and color. Inappropriate new streets or parking lots incompatible with the neighborhood should not be constructed. (updated 08/12/14)
3. New plant materials, fencing, walkways, housing and other outdoor lights, signs, benches, etc. should be compatible with the character of the neighborhood in size, scale, material and color.
4. Plant material should be maintained so as not to become a hazard to the public, public property or shall not be allowed to cause deterioration to structures.
5. Existing street trees should not be removed without supporting documentation and a plan for replacement. Trees located in the city right of way cannot be removed without city approval (updated 09/09/22)

The following items DO NOT require a COA:

- Back yard Tree house, swing sets and trampolines
- Benches and other outdoor furniture and accessories
- Sculpture and another outdoor artwork
- Pools and patios
- Tree pruning, clearing of overgrown bushes, vines, saplings, etc.
- Tree removal (less than 4” diameter at breast height or diseased).
- Planting new trees, shrubs, ground cover, etc.
- Landscape edging
- Flower, vegetable and rock gardens
- Flowerpots, planters, window boxes, birdbaths, bird houses, etc.
- Adding gravel to existing driveways
- Patching deteriorated concrete or asphalt pavement, walks, steps, etc.

The following commonly requested projects require a COA:

- Changes to stone walls and other historic site features
- New or expanded parking areas/lots
- New and expanded driveways and walkways
- Staff approval for change of materials (i.e. gravel to concrete)
- Staff approval for tree removal with supporting documentation from a Certified Arborist that the tree is either dead, in severe decline, and/or possess a high risk of failure. Trees to be reviewed by the City Arborist. A tree replacement plan must be provided. (*Updated 09/09/22*)

Photos:



Street view



Concrete patio in place in back yard lower elevation



New pavilion in place

Staff recommendation:

1. Staff recommends approval of pavilion with architectural shingles on side yard meeting setback requirements.

:

**City of Opelika
Historic Preservation Commission
Staff Report**



Agenda Item #: 4
Meeting Date: 05/09/2024
Action Requested: COA: New Construction
Location of Property: 725 1st Ave; Downtown Historic District
Petitioner: Richard Patton

Resources:

Vacant lot at the corner of 1st Avenue (Griff Goods) and S. 8th Street (Stone Martin).

Proposal: The petitioner requests a COA for the following:

1. New construction commercial three-story building. The exterior will be Shou Sugi Ban. This wood is preserved by charring the wood making it fire retardant as well as resistant to rot, insects, and decay.
2. Windows will all be black metal framing. No additional specs provided.

Proposed Guidelines:

STANDARD #3: Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

Guidelines which address issues concerning New Construction, Relocation, Additions, and Demolition are extremely important. The intent of historic district zoning is not to freeze an area in time, but rather to encourage new, complementary buildings on vacant sites on the Main Street.

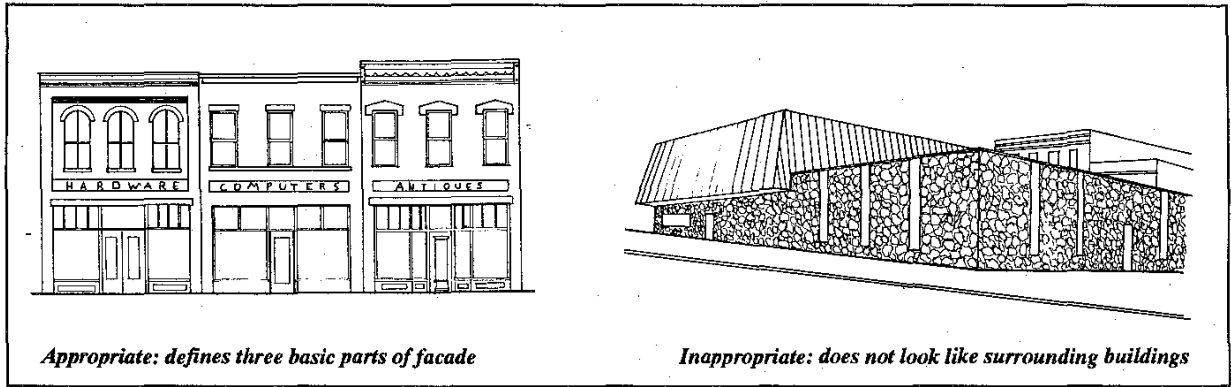
NEW CONSTRUCTION

Opelika has several vacancies located within a block of commercial buildings. This configuration has been described as looking like a missing tooth. Open space that adjoins the street should be developed in scale, use, and character with the neighborhood. New designs, which express changing tastes and needs, tell the on—going story of a downtown’s evolution. New designs should not attempt to create a false “historic” appearance. New designs are evaluated in terms of how well they relate to neighboring buildings’ composition, materials, size/scale, rhythm of openings, orientation/alignment, setback/site, style, and landscape.

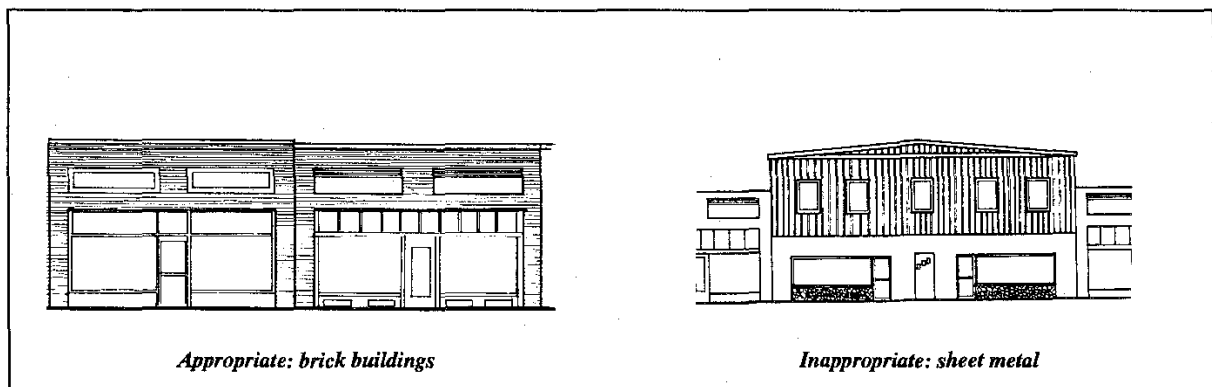
NEW CONSTRUCTION - #29.

New construction should be compatible with neighboring buildings.

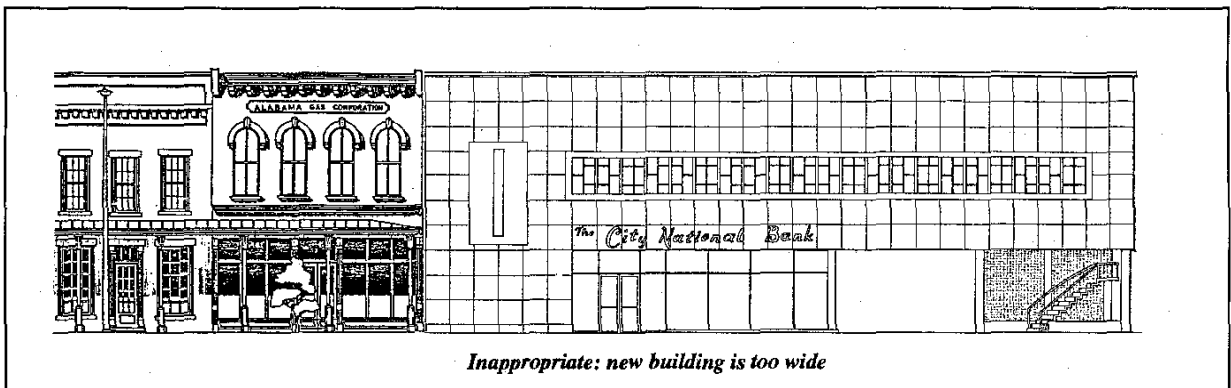
COMPOSITION: New buildings should define the three basic divisions of a commercial facade: a top which is typically a flat roof with a parapet and decorative cornice; a middle area defined by the upper story windows which are vertical and regularly placed; and a bottom which is transparent and has the elements of a storefront, including a bulkhead, a display window, and a transom.



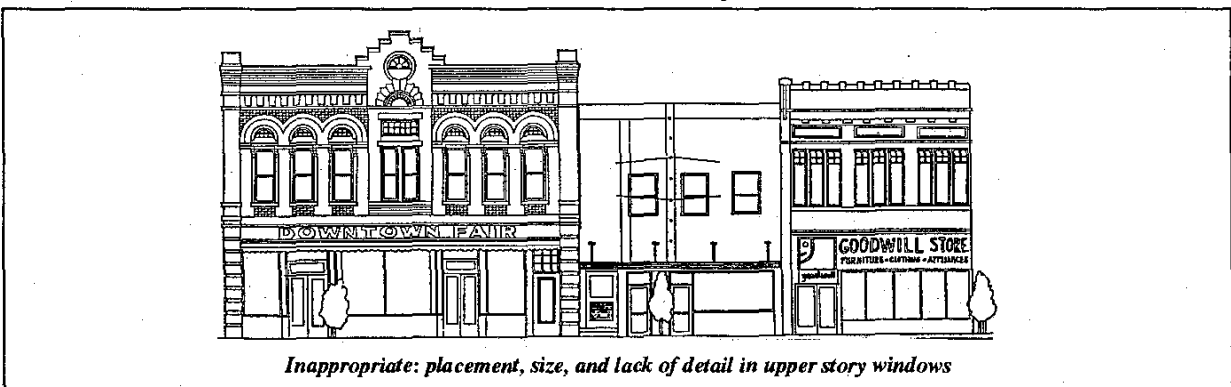
MATERIALS: New materials should relate to the historic materials in terms of texture, scale, color, and composition. New buildings should utilize the same materials as those on existing historic structures. Masonry, particularly brick, is an appropriate material. Inappropriate materials are plywood, composition panel, plastic, imitation brick or stone, vinyl or synthetic siding, sheet metal, and stone veneer. Neither stucco nor concrete block impart the same scale or texture as brick.



SIZE / SCALE: New buildings should be in scale with existing buildings. This means that they should not be appreciably taller, shorter, wider, or narrower than the buildings adjacent to them. Multi-story buildings should have a vertical emphasis, meaning that they should be taller than they are wide. The scale of key elements and details should refer to nearby buildings.

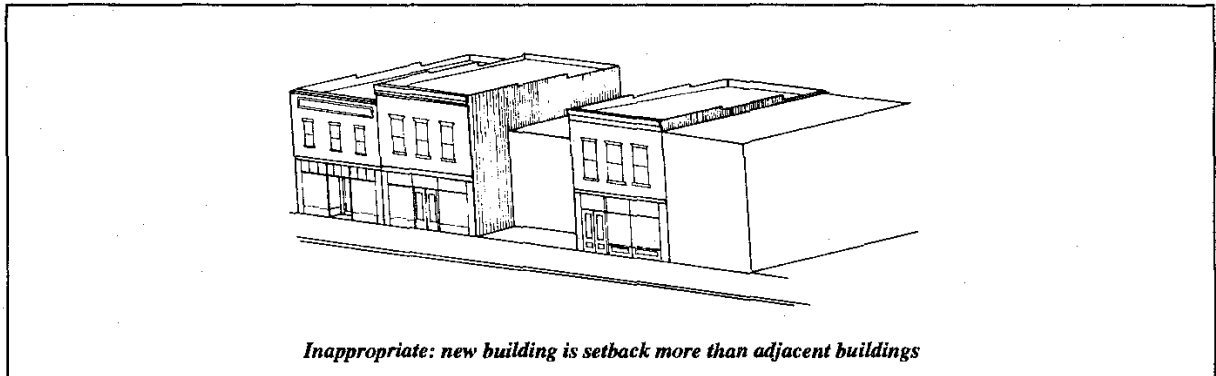


RHYTHM OF OPENINGS: The design, scale, and placement of openings in buildings, which provide a visual rhythm along the street, should be continued. Walls should be divided into bays by windows. New construction should avoid creating long unrelieved expanses of wall along the street. Window openings should be vertically proportioned and placed symmetrically on the facade. They should be slightly recessed back from the surface. Windows should be defined by sills, lintels, or decorative surrounds.



ORIENTATION / ALIGNMENT: Orientation of new construction should match that of existing adjacent buildings. Facades should face the same direction as those of neighboring buildings. The similar heights of buildings are emphasized by the alignment of cornices and/or horizontal bands of second story windows. New construction should continue the visual continuity of horizontal elements.

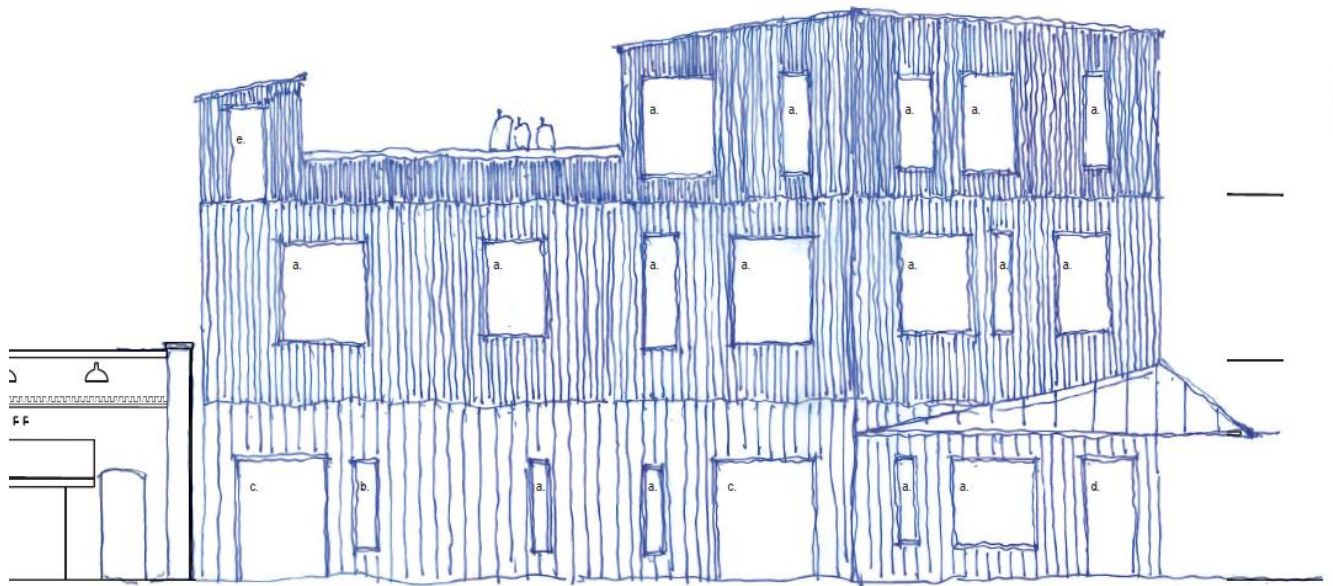
SETBACK / SPACING: New buildings should conform with adjacent or surrounding buildings in terms of their setback and the spacing between buildings. Historically, blocks of commercial buildings directly fronting the sidewalk are attached to each other, sharing a party wall. New buildings should create a continuously walled complex that holds the lines of the streets. Generally, avoid buildings designed as free-standing objects.



STYLE: The design of new buildings should complement existing historical architecture rather than attempt to imitate it. The new construction should be distinguishable from the old so that the evolution of the Main Street district can be visually read. New designs should creatively draw on the important characteristics of existing buildings.

LANDSCAPE: Site planning should respect the precedents set by other buildings in the block. In areas where many trees form a bower across the streets, new plantings should be planned to achieve a similar effect. For walls, fences, and paving, use materials consistently found in the district. (refer to Design Guideline #22)

Photo's:



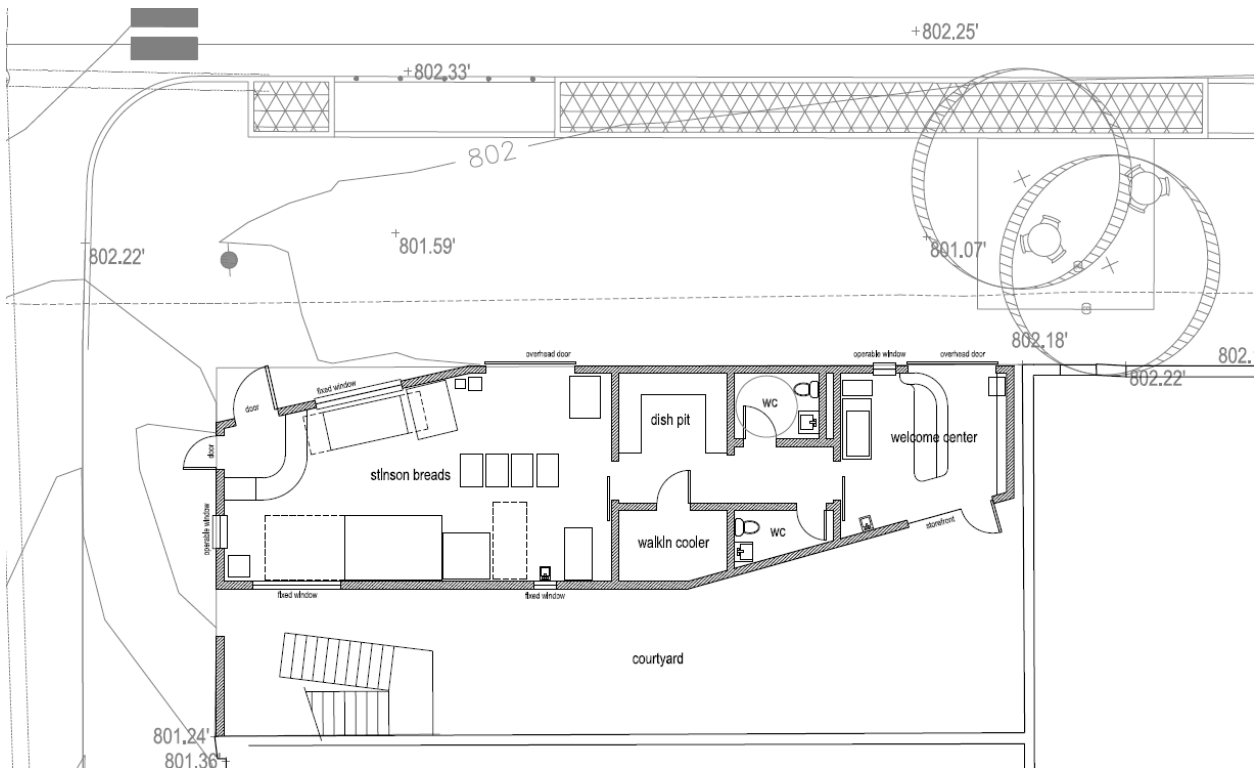
Rendering face 1st Ave (Griff Goods)

- a. Inoperable window
- b. Operable window
- c. Overhead door
- d. Entry door
- e. Fire egress door

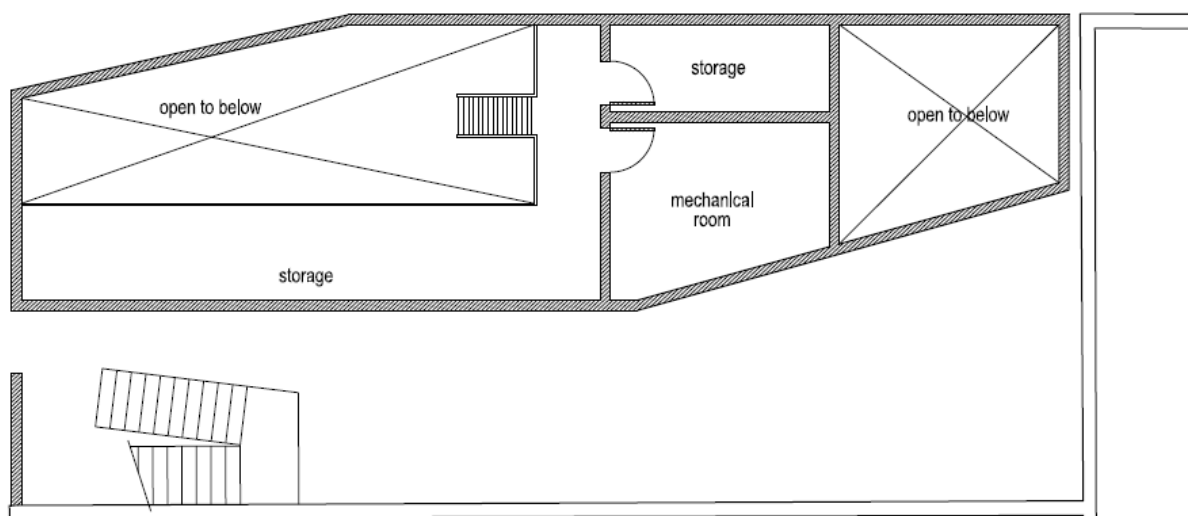


Rendering facing S. 8th St (Stone Martin) with walkways

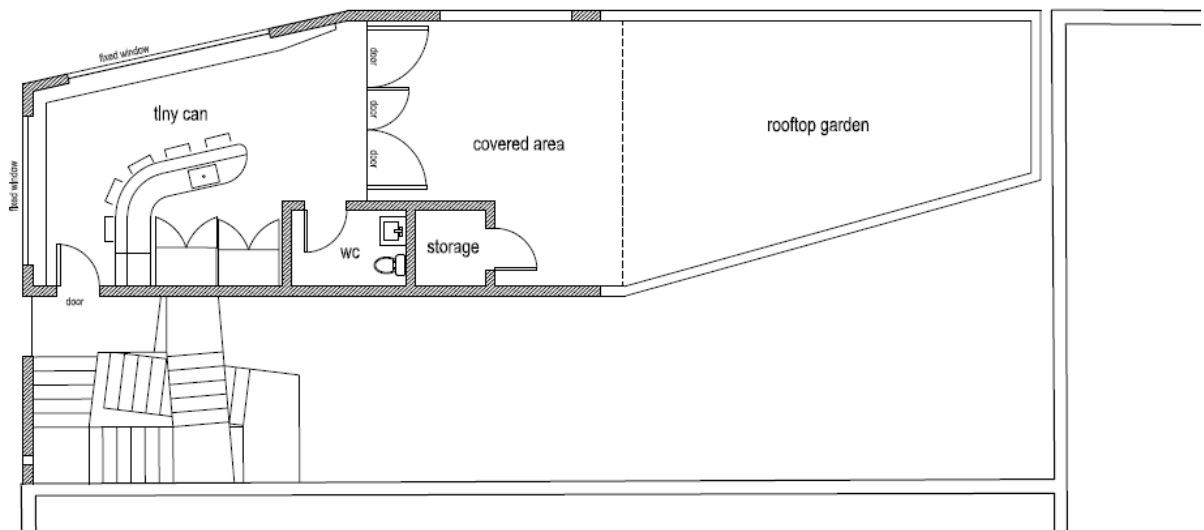
- a. Inoperable window
- b. Entry door



First floor facing 1st Ave with sidewalk at existing café tables



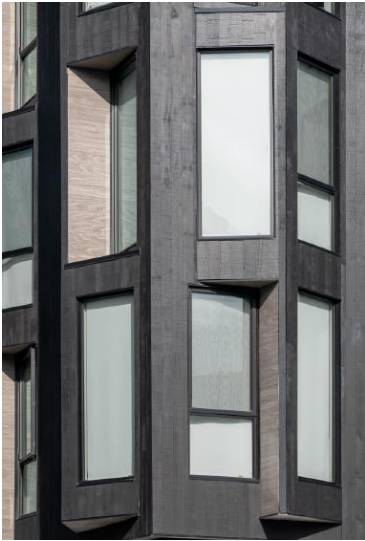
Second floor with open mezzanine



Third floor roof top area

Examples of Shou Sugi Ban wood designs:





the Frazier's Gin and Grist Mill located on South 10th Street
between S Railroad Ave and Ave A was built in the early 1870s



Historic example of wood siding including applied vertical

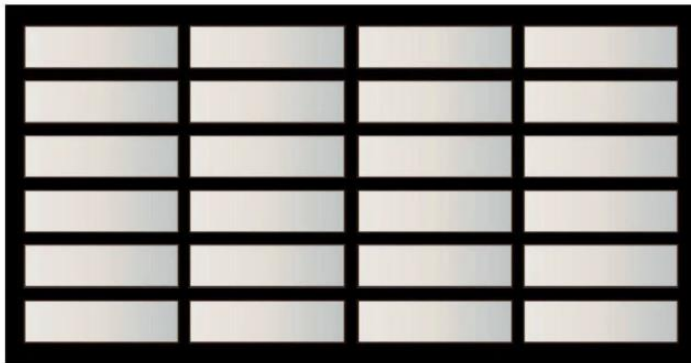


8'H X 3'W BLACK ANODIZED
MEDIUM STILE ALUMINUM STOREFRONT DOOR

Example of entry door



Example of metal framed windows-Resting Pulse



BLACK PAINTED OR ANODIZED OVERHEAD GLASS DOOR (NOT TO SCALE)

Example metal and glass garage style door-Griff Goods

Staff recommendation:

1. The Commission should consider the following guidelines during preliminary review:
 - New materials should relate to historic materials in terms of texture, scale, composition and utilize the same materials as those on existing historic structures.
 - New buildings should define the three basic divisions of a commercial façade: a top which is typically a flat roof with a parapet and decorative cornice; a middle area defined by the upper story windows which are vertical and regularly placed; and a bottom which is transparent and has the elements of a storefront, including bulkhead, a display window, and a transom.
 - New designs should creatively draw on the important characteristics of existing buildings.
 - New buildings should be in scale with existing buildings. They should not be appreciably taller, shorter, wider, or narrower than the buildings adjacent to them. The scale of key elements and details should refer to nearby buildings.
 - The design, scale, and placement of openings, which provide a visual rhythm along the street, should be continued. Walls should be divided into bays by windows. New construction should avoid creating long unrelieved expanses of wall along the street. Window openings should be vertically proportioned and placed symmetrically on the façade. Windows should be defined by sills, lintels, or decorative surrounds.
2. Staff recognizes that surrounding commercial properties in the Downtown Historic District are primarily brick. Other wood structures are residential properties, some having been adapted for commercial use.
3. There are many features of the proposed new construction that do not compliment characteristics of existing historic buildings including exterior materials, window size(s) and shape(s), and configuration, shape of awning, openings, and walkways. Staff

recommends the Commission seriously consider the aesthetics of surrounding properties and how they envision future infill development looking.

City of Opelika
Historic Preservation Commission
Staff Report



Agenda Item #: 5
Meeting Date: 06/13/2024
Action Requested: RETROACTIVE COA: Change of Façade Material
Location of Property: 100 S. 8th St; Downtown Historic District
Petitioner: Cannon Real Estate Holdings, LLC

Resources:

Dickson Building: Before 1885; two-story brick load bearing wall construction. West and North sides have new common bond brick veneer. West façade has molded metal gutter; pressed metal dentil and frieze below parapet; small pane windows; pedestrian level has new frame, glass, and cloth awning.

History: Applicant received approval for façade renovations on 12/11/2020. Renderings approved showed two double doors with transom on each side, and glass store front with brick or wood below windows. On 05/03/2024 the plywood covering had been removed and workers were observed tiling the front façade. Also noted was the door configuration had changed. The owner was notified to stop work immediately because changes to plan had not been authorized.

Proposal: The petitioner requests a COA for the following:

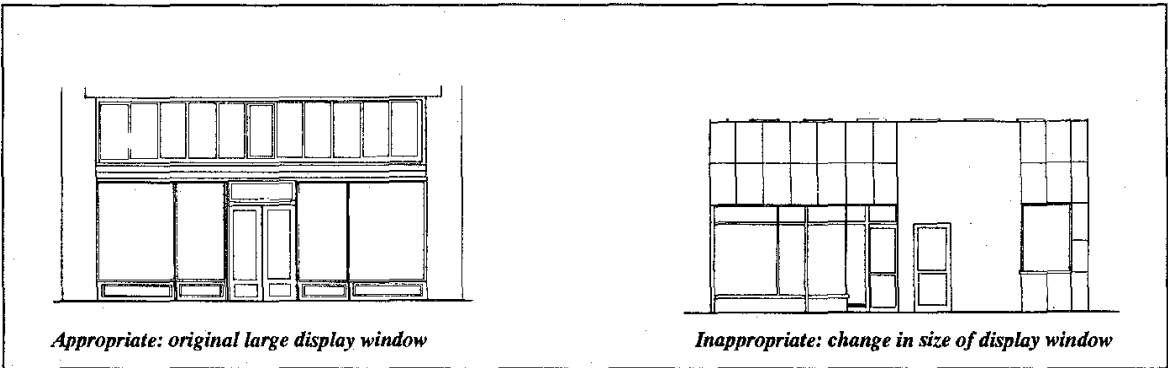
1. Install a single $\frac{3}{4}$ glass mahogany door with separate sidelight windows proportional in sizing to other windows creating horizontal consistency across the façade allowing for transoms above the large front windows.
2. Install elegant $\frac{3}{4}$ " thick Jerusalem stone tile across front façade.

Proposed Guidelines:

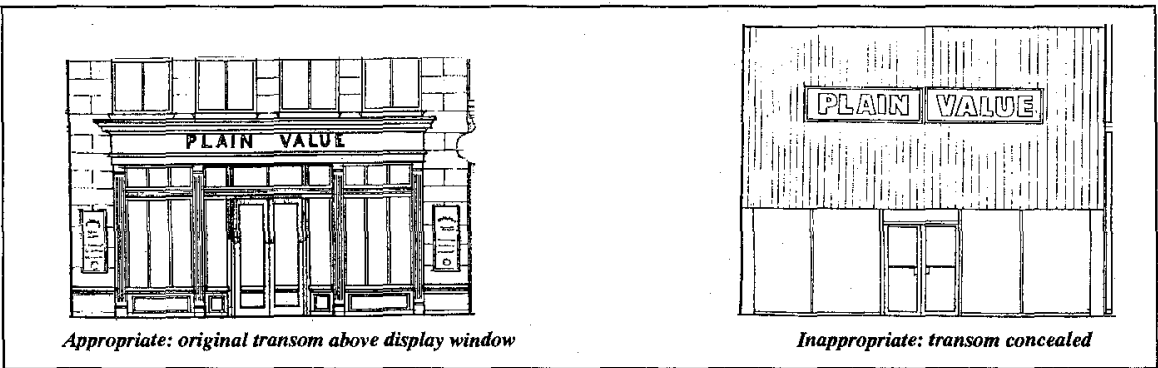
STOREFRONT - #2.

Preserve existing historic storefronts. Retain characteristic storefront features.

DISPLAY WINDOW: Maintain the original dimensions and transparent nature of the display window. Do not add small paned windows or reflective glass.



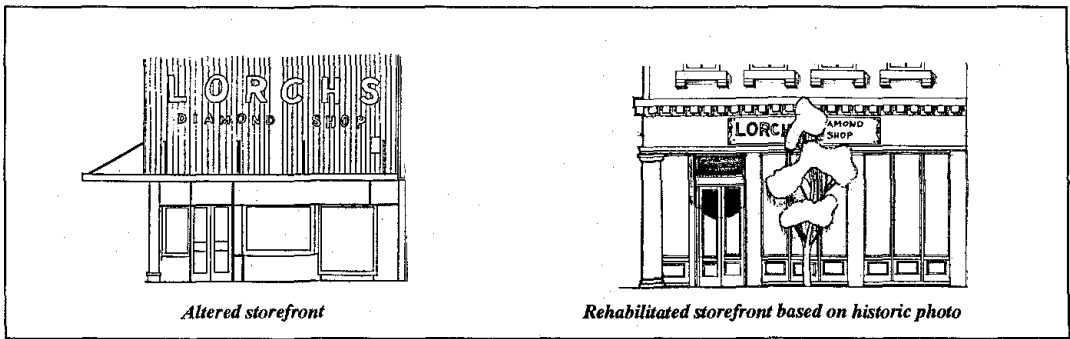
COLUMNS: Maintain cast iron columns and brick and stone piers which frame the storefront.
TRANSOM: Retain original shape and transparency of the transom. Do not place a sign over the transom, If an interior ceiling has been lowered below the transom, it should be recessed from the storefront. Do not place air conditioning units in the transom.



RECONSTRUCTED STOREFRONT -#3

Reconstruction of a historic storefront should be based on physical evidence and historical documentation such as photographs.

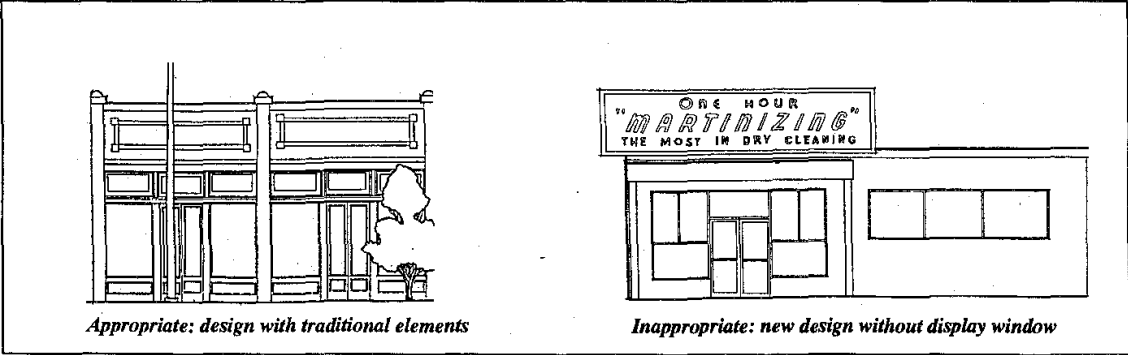
RE-CONSTRUCTION: Obtain historic photographs, post cards of downtown, and historical background about the building by contacting the historical society, library, and/or state archives.



NEW STOREFRONT #4.

If documentation of the original storefront does not exist, design a new storefront that is compatible with the materials, size, scale, and character -defining features of nearby buildings.

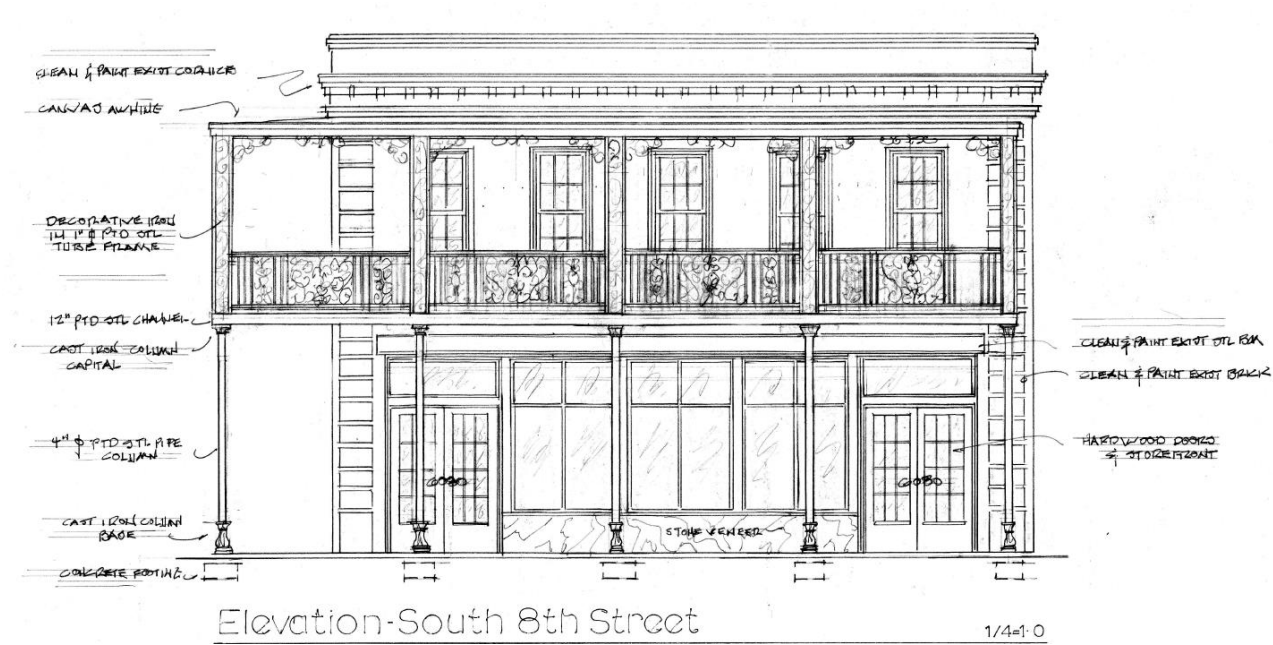
NEW DESIGN: Respect the original design of the building and visual character of the district. Do not add early colonial features, attempt to create a theme, or make a building more ornamental than it originally was. The new design should incorporate characteristic elements of a traditional storefront, including the display window, transom, recessed entrance, and bulkhead using compatible materials. (see Preservation Brief #11)



Photo's:



Previous door and window configurations



Original design presented and approved for front elevation-S. 8th St



Original design approved for side elevation-S. Railroad Ave



Revised door and window configuration with tiled front façade



Jerusalem stone tile installed



Diana Shop/Cakeitecture



Taylor Made



Jackies Card/Agricola

Staff recommendation:

1. Staff recommends approval of single mahogany door with sidelights on left and single mahogany door on right.
2. Staff recommends approval of Jerusalem tile front façade on first floor.

City of Opelika
Historic Preservation Commission
Staff Report



Agenda Item #: 6
Meeting Date: 06/13/2024
Action Requested: COA: Attached Sheds
Location of Property: 511-513 S. 8th St; Geneva Historic District
Petitioner: Cody Holly

Resources:

Vacant lot located in the Southside development in the Geneva Historic District.

Proposal: The petitioner requests a COA for the following:

1. Construction of two wood siding sheds with shared roofline in rear yard. Each shed is 10'x7.5'.

Guidelines:

G. NEW CONSTRUCTION:

1. Definition: The construction of any free-standing structure on any lot or addition to an existing structure.
2. General Principles:
 - a. These guidelines shall apply only to the exteriors of buildings and to areas of lots visible from public right-of-way.
 - b. The public facades, front and street-related elevations, of proposals for new buildings shall be more carefully reviewed than other facades.
 - c. New buildings should be compatible with other architectural styles in the historic district but are not required to imitate the past architectural styles of the historic district. They should reflect the era of their own construction.
 - d. Since construction in a historic district has usually taken place continuously from the nineteenth century to the present, a variety of building types and styles result which demonstrate the changes in building tastes and technology over the years. The special architectural character of the majority of the buildings in the historic district is responsible for this designation and new buildings should complement and be compatible with the prevailing architectural styles of other buildings in the historic district.
 - e. Reconstruction may be appropriate when it reproduces facades of a building which no longer exists and which was located in the historic district if; the building would have contributed to the historical and architectural character of the area, and if it will be compatible in terms of style, height, scale, massing, and materials with the buildings immediately surrounding the lot on which the reproduction will be built, and if it is accurately based on pictorial documentation.

- f. New buildings should related to an established pattern and rhythm of existing contributing buildings, both on the same and opposite sides of a street, the dominance of that pattern and rhythm must be respected and not disrupted.
- g. New construction should be consistent with existing contributing buildings along a street in terms of height, scale, setback, and rhythm; relationship of materials, texture, details and color; roof shape; orientation and proportion and rhythm of openings.
 1. Height: New buildings should be compatible in height with the height of adjacent buildings. This shall not mean that new construction must be the same height as adjacent structures, but that new construction should be of similar heights as adjacent structures. New construction may not be over one story higher than adjacent structures or more than one story lower than adjacent structures.
 2. Scale: The size of a new building; its mass in relation to open spaces; its windows, doors, openings and porches should be visually compatible with the surround buildings.
 3. The relationship and use of materials, texture, details and material color of a new building's public facades shall be visually compatible with and similar to those of adjacent buildings or shall not contrast conspicuously.
 4. The roofs of new buildings shall be visually compatible, by not contrasting greatly with the roof shape and orientation of surrounding buildings.
 5. The setback from front and side yard property lines established by adjacent buildings must be maintained. When a definite rhythm along a street is established by uniform lot and building width, infill new buildings should maintain the rhythm.
 6. Orientation: The site orientation of new buildings shall be consistent with that of adjacent buildings and shall be visually compatible. Directional expression shall be compatible with surrounding buildings, whether that expression is vertical, horizontal or non-directional.
 7. The relationship of width to height of windows and doors, and the rhythm of solids to voids in new buildings shall be visually compatible with the surrounding buildings.
3. Additions to Existing Buildings:
 - a. Additions to existing buildings should be kept to a minimum and should be compatible in scale, materials, and texture. Additions should not be visually jarring or contrasting
 - b. Additions should not be made to the public facades of existing buildings. Additions should be located to the rear or sides of existing buildings in ways which do not disturb the main public facades.
 - c. The creation of an addition through enclosure of a front façade porch is inappropriate and should be avoided.

A. THE ENVIRONMENT:

1. The environment consists of all exterior features in the designated historic districts which are visible to the public and includes structures, outbuildings, landscaping, streets, appurtenances, trees, mass and spacing between structures, scale, mass, color and materials of buildings that give a neighborhood its distinguishing character and contributes to its historic district designation.
2. Significant landscape features such as public parks and gardens, street lighting, signs, street benches, sidewalks, streets, alleys and building setbacks that have traditionally been maintained in the historic district and that contribute to its historic character should be retained. Existing streets should not be widened. paving material should not be changed to a different texture and color. Inappropriate new streets or parking lots incompatible with the neighborhood should not be constructed. (*updated 08/12/14*)
3. New plant materials, fencing, walkways, housing and other outdoor lights, signs, benches, etc. should be compatible with the character of the neighborhood in size, scale, material and color.
4. Plant material should be maintained so as not to become a hazard to the public, public property or shall not be allowed to cause deterioration to structures.

- Existing street trees should not be removed without supporting documentation and a plan for replacement. Trees located in the city right of way cannot be removed without city approval (updated 09/09/22)

The following items DO NOT require a COA:

- Back yard Tree house, swing sets and trampolines
- Benches and other outdoor furniture and accessories
- Sculpture and another outdoor artwork
- Pools and patios
- Tree pruning, clearing of overgrown bushes, vines, saplings, etc.
- Tree removal (less than 4" diameter at breast height or diseased).
- Planting new trees, shrubs, ground cover, etc.
- Landscape edging
- Flower, vegetable and rock gardens
- Flowerpots, planters, window boxes, birdbaths, bird houses, etc.
- Adding gravel to existing driveways
- Patching deteriorated concrete or asphalt pavement, walks, steps, etc.

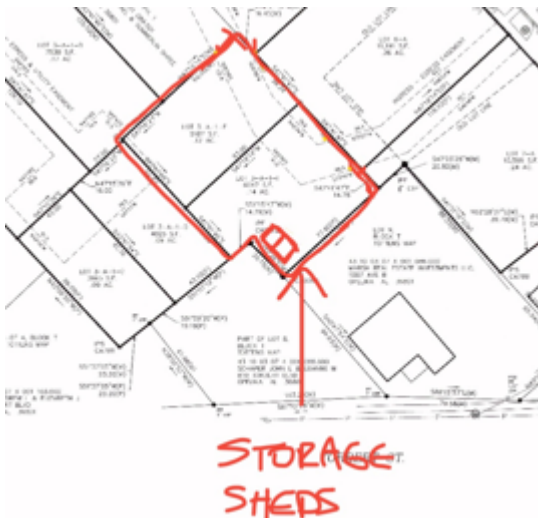
The following commonly requested projects require a COA:

- Changes to stone walls and other historic site features
- New or expanded parking areas/lots
- New and expanded driveways and walkways
- Staff approval for change of materials (i.e. gravel to concrete)
- Staff approval for tree removal with supporting documentation from a Certified Arborist that the tree is either dead, in severe decline, and/or possess a high risk of failure. Trees to be reviewed by the City Arborist. A tree replacement plan must be provided. (Updated 09/09/22)

B. BUILDING SITE:

- Landscaping in an important part of the historic district and important landscape features such as old plants, trees, fencing, walkways, out-buildings and other elements of historic or artistic merit or that reflect the property's history and development should be maintained and preserved. Old plants, trees, fencing, walkways, out-buildings and other exterior elements should be maintained until their importance in the property's history and development has been evaluated. This evaluation should consist of actual knowledge of the past appearance of the property found in photographs, drawings, newspapers, tax records, fire maps, etc. Complete removal of significant and historic plants and trees should be avoided and where necessary, pruning and cutting back should be encouraged instead of complete removal.
- Plant material which is in very close proximity to a historic structure, and which is causing deterioration of the historic fabric of the structure may be removed or pruned back to eliminate damage to the structure.
- Drainage around historic structures is important and proper site and roof drainage should be maintained. Water should drain away from building foundations and should not be trapped or allowed to stand adjacent to building foundations. Roof drains and gutters should not be allowed to clog up and cause water to pond on the roof or in interior gutters.

Photo's:





Hardware

Staff recommendation:

1. Staff recommendation approval of wood siding storage sheds in rear. Siding should match and/or compliment the main structures.
2. Site plan and setbacks to be approved by the Planning Department.

City of Opelika
Historic Preservation Commission
Staff Report



Agenda Item #: 7
Meeting Date: 06/13/2024
Action Requested: COA: New Windows
Location of Property: 514 N. 9th St; Northside Historic District
Petitioner: Tori Ninde, 360 Management

Resources:

Circa 1950. One story, wood frame minimal traditional with cross gable roof of asphalt shingles, weatherboard siding, off center wood door with stop, flanking 3/1 double hung sash windows, side screened porch. Contributing Resource.

Proposal: The petitioner requests a COA for the following:

1. Replace all windows with ENVIROGUARD cellular PVC double hung, OSF (outside frame) and 7/8" SDL (simulated divided lite). Paint grade. 3/1 grid pattern to remain. Current windows are hard to open and have wood rot.

Guidelines:

Windows:

- a. Retain and repair existing windows including window sash, glass, lintels, sills, architraves, shutters, pediments, hoods and hardware. If new sashes are used, duplicate the original material, design, size and hardware of the original window. Do not change window size, sash size or windowpane size.
- b. Do not introduce or create new window openings into the front principal elevation of the structure and do not enlarge or reduce original window openings to fit new stock window sizes.
- c. The original number and arrangement of panes should be maintained.
- d. Storm windows should be visually unobtrusive and should not damage existing window frames. Storm windows should be designed so that they can be removed in the future without damage to the original fabric of the structure. Storm windows should be compatible in color and design with the original windows. For example, mill finished aluminum storm windows should not be used with painted window sash.
- e. Plastic, canvas or metal strip awnings or fake shutters that are not compatible with the architectural style of the structure should not be used.
- f. Where existing shutters are replaced or reinstalled when missing, the new shutters shall be sized to fit the window opening, in height and width, whether the shutters are fixed or operable.

Composite materials are allowable for shutters so long as they duplicate the original in shape and texture.

- g. New window openings should not be introduced unless they match the existing window configuration and their placement harmonized with the existing rhythm of openings.
- h. Original windows should not be filled in.

Photo's:



Front elevation



Right elevation

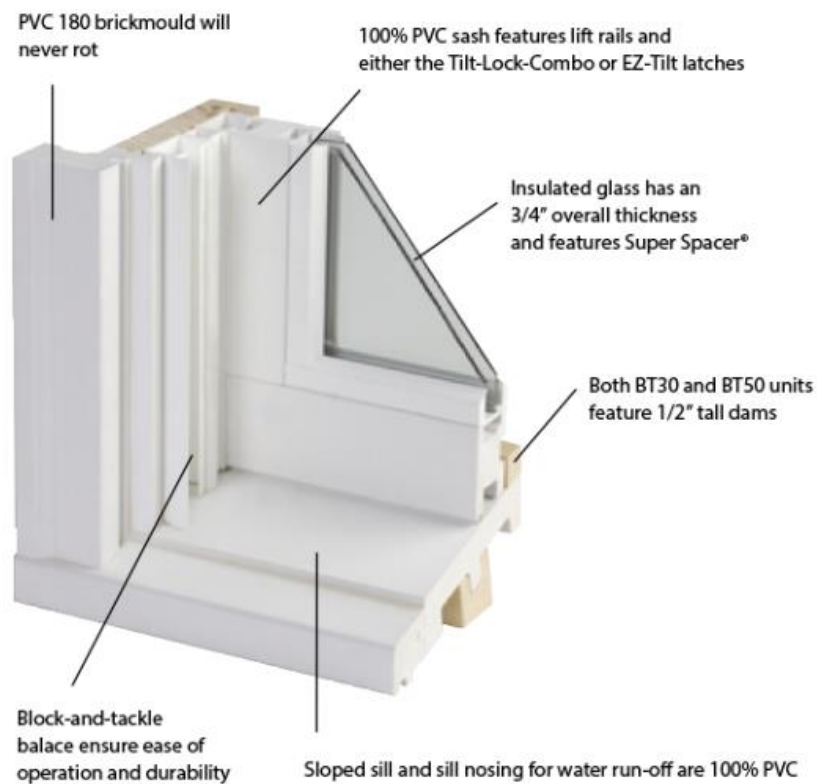


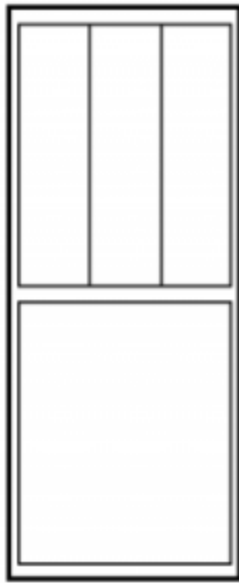
Rear elevation



Examples of wood rot around windows

Specs on new windows to be installed:





Mission



Our double-hung windows are built using ENVIROGUARD™ technology to ensure lasting quality. Our ENVIROGUARD windows are no rot and are made using the **highest quality cellular PVC**. Unlike wood, ENVIROGUARD windows won't peel, splinter, decay, or absorb moisture and they are impervious to insects. Unlike flimsy vinyl windows, ENVIROGUARD windows are sturdy, won't bend, and are paintable. ENVIROGUARD windows offer greater strength and durability over wood and vinyl windows and have enhanced screw-holding power. PVC windows have a traditional curb-side appeal and complement any architectural style of home. Our products are proudly made in the U.S.A and are backed up by the craftsmanship of our American workforce with our industry-leading 20 and 25 year warranties.

Staff recommendation:

1. Staff recommends approval of installation of new PVC composite windows with the same grid pattern (3/1) as existing windows. Width of trim surrounding the windows should be of the same dimensions as existing windows. All windows should be the same size as original opening requiring no infill.

City of Opelika
Historic Preservation Commission
Staff Report



Agenda Item #: 8
Meeting Date: 09/14/2023
Action Requested: RETROACTIVE COA: Stairs on Pool House
Location of Property: 314 3rd Ave; Northside Historic District
Petitioner: J. Manifold Construction

Resources:

Circa 1910. Two story, brick Neoclassical Revival residence with hip roof of asphalt shingles, three bay façade, second floor façade with central wood door with transom, flanking 4/1 double hung sash windows, first floor façade with central wood and glass door, flanking 4/1 double hung sash windows, two story partial width portico with Corinthian columns, second floor balcony, open rail balustrade, side porch. Contributing structure.

History: New construction pool house approved on 09/14/2023. Applicant was to return for approval of stairs prior to installation.

Proposal: The petitioner requests a COA for the following:

1. Install wood staircase and landing with composite decking on right side of structure to assess second floor. Handrails will be either wooden or aluminum.

Guidelines:

1. Outbuildings:
 - a. Garages and storage buildings should reflect the character of the existing structure and surrounding buildings and should be compatible in terms of height, scale, roof shape, materials, texture and details.
 - b. Garages, if visible from the street, should be situated on the lot as historically traditional from the neighborhood.
 - c. The location and design of outbuildings should not be visually disruptive to the character of the surrounding buildings.
2. Appurtenances: Appurtenances related to new buildings, including driveways, sidewalks, lighting, fences, and walls, shall be visually compatible with the environment of the existing buildings and sites to which they relate.

The following items DO NOT require a COA:

- Maintenance repairs to garages and accessory buildings when there is no change in the design and material.

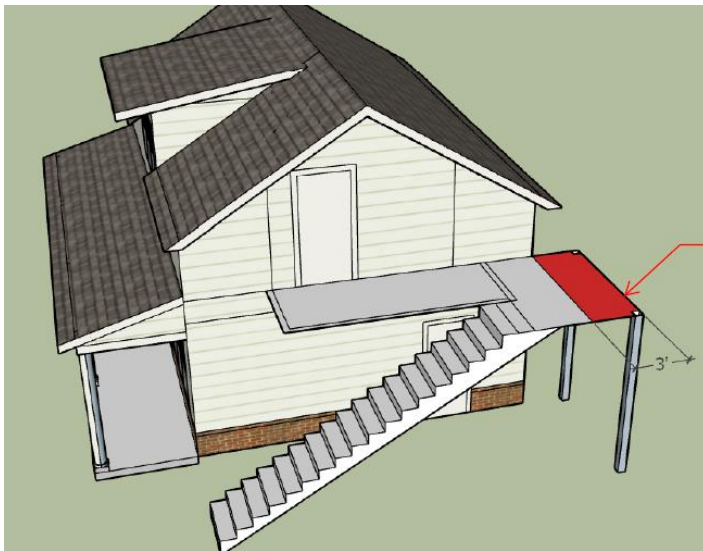
The following commonly requested projects require a COA:

- Garages and accessory structures not larger than 8' x 12' in rear yards and not visible from the street (staff approval)
- Garages and accessory structures larger than 8' x 12' or that are visible from the street (commission approval)

Photo's:



Front view



Extend decking an additional 3ft



Wood framing and stairs

Staff recommendation:

1. Staff recommends approval of wood frame stairs with composite decking and wood or aluminum handrails.

City of Opelika
Historic Preservation Commission
Staff Report



Agenda Item #: 9
Meeting Date: 06/13/2024
Action Requested: RETROACTIVE COA: Extend Rear Porch Enclosure
Location of Property: 904 5th Ave; Northside Historic District
Petitioner: Howard C. Harper III

Resources:

Circa 1940. One story, wood frame bungalow with hip roof of asphalt shingles, interior chimney, weatherboard siding, off centered wood and glass pane door, flanking 8/1 double hung sash windows, partial width porch with gable roof, columns on brick piers. Contributing Resource.

History: On May 30, 2024 it was observed that work was being done on the outside of the house without a building permit or certificate of appropriateness. A stop work order was issued.

Proposal: The petitioner requests a COA for the following:

1. Extend roof line of rear porch to cover the entire existing porch area. The porch will have a half wall with a screen on top and an interior gas fireplace. The exterior will be Hardi plank to match existing structure. Roof will be metal.

Proposed Guidelines:

7. Entrances, Porches and Steps:
 - a. Porches and steps that are appropriate to the building and its development should be retained. Porches or additions that reflect later architectural styles are often important to the building’s historical integrity and wherever possible, should be retained.
 - b. Original material and architectural features, such as handrails, balusters, columns, brackets and roof decoration shall be preserved. Where necessary to replace deteriorated pieces, the new material should match the original in texture, shape, size and color.
 - c. Original details and shape, outline, roof height and roof pitch should be retained.
 - d. Enclosing of front porches is inappropriate if done in a manner that destroys their intended appearance.
 - e. The enclosing of side and rear porches may be considered appropriate if the visual openness and character of the original porch is maintained.

The following items DO NOT require a COA:

- Minor repairs to materials and features when repaired to match the original
- Porch flooring and ceilings, trim boards, railings, brackets, etc.

The following commonly requested projects require a COA:

- Removal or addition of porches
- Screening of side porches according to guidelines (staff approval)
- Screening of front porches according to guidelines (commission approval)
- Enclosure of porches

Photo's:



Porch before changes



Rear view of extended/enclosed porch



Side view of extended/enclosed porch



Interior view showing enclosure and new fireplace



Side walkway with old railings



Side porch-new handrails to be installed



Example of handrail to be installed

Staff recommendation:

1. Staff recommends approval of extending the roof line to cover the entire rear porch.
2. Staff recommends approval of installing knee wall to enclose the porch with open area above the knee wall. Staff approves of installation of gas fireplace in outdoor space. This space is out of the public view.
3. Staff recommends approval of new wood handrail on side porch.