



**CITY OF OPELIKA
CITY COUNCIL
WORKSESSION MEETING AGENDA
300 Martin Luther King Blvd.
September 3, 2024
TIME: 5:50 PM**

1. A CALL TO ORDER
 1. George Allen, Erica Norris, Tim Aja, Todd Rauch, Eddie Smith
2. PRESENTATIONS
 1. Request to Advertise for PH: Rezoning, 3900 block Waverly Parkway, 5.7 Acres, from M-2 to C-2.
 2. Request to Advertise for PH: Master Plan Amendment, Ballfields PUD, Pepperell Parkway & North 30th Street, Change from Townhome Units to Apartment Units.
3. RESOLUTIONS
4. ORDINANCES
5. GENERAL UPDATES
6. REVIEW/DISCUSS CURRENT COUNCIL MEETING AGENDA
 1. Bid - N 7th Street Storm Drainage Updates - ENG.
7. GENERAL / DISCUSSION
8. END OF WORK SESSION

“In compliance with the Americans with Disabilities Act, the City of Opelika will make reasonable arrangements to ensure accessibility to this meeting. If you need special assistance to participate in this meeting, please contact the ADA Coordinator 72 hours prior to the meeting at (334)705-5130.”

City of Opelika Planning Commission Report

Action Requested: Rezoning: 5.76 acres from M-2 to C-2
3800 Birmingham Highway:

Property Owner(s): Opelika Industrial Development Authority (property owner)
David Slocum, Authorized Representative

Current Zoning: M-2 (Public Manufacturing)

Proposed Zoning: C-2 (Office Retail)

Existing Land Use: Undeveloped

**Surrounding Zoning Districts
And Land Uses:**

North	M-2	Vacant
South	M-2	Vacant
East	M-2	Vacant
West	R-1	Vacant

Future Land Use Map

The previous Future Land Use Map category was 2030 Future Land Use Map (FLUM) showed this area in a “mixed use commercial and residential” land use category. In October 2019 the Planning Commission voted to amend the FLUM to support the M-2 rezoning request for the OIDA purchase. The original FLUM shows the support of the office retail category, and an office retail category is a lesser use than the “Manufacturing” land use category. The light commercial category would be supported because it is a transitional step to the manufacturing uses. The proposed 5.76 acres rezoning request from M-2 to C-2 requires an amendment to the 2030 FLUM concerning land use category.

The property across Waverly Parkway does have a designation of low density residential. The property to the north of the large M-2 zoned area is zoned C-2. The remaining properties are located either across Birmingham Highway, Waverly Parkway, and Veterans Parkway.

Rezoning

Opelika Industrial Development Authority represented by David Slocum is requesting rezoning 5.76 acres from M-2 to C-2. They have not noted what the property will be used for at this time.

Staff believes the R-5 zoning area shown is a mapping error and the entire area was rezoned to M-2 in 2019.

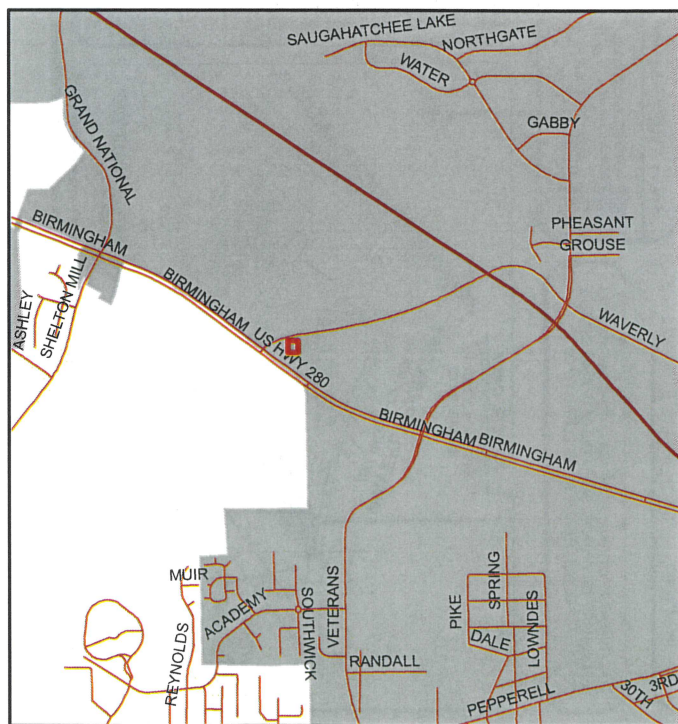
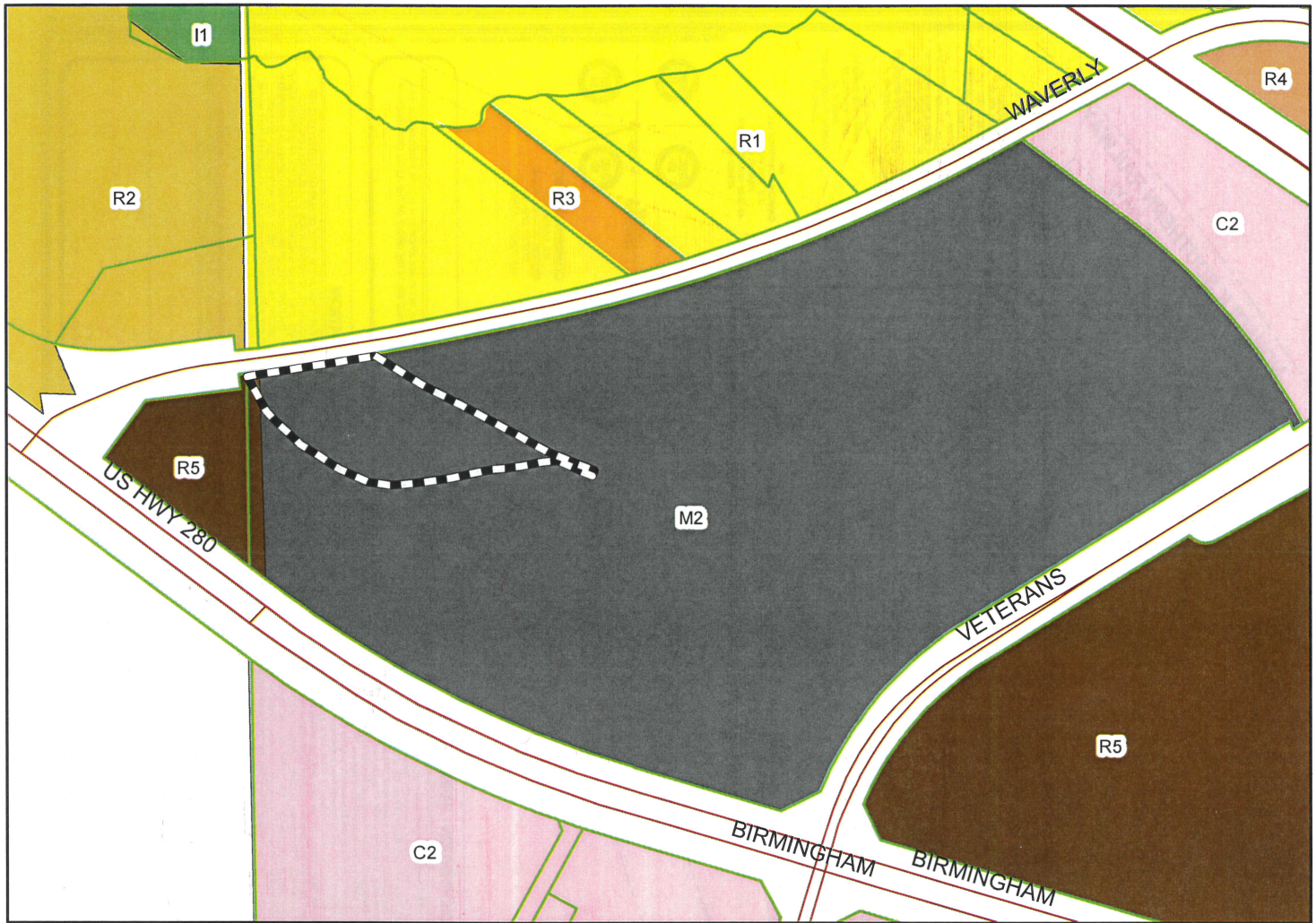
The location of this property supports development potential of office/retail and the associated zoning. The property is touching Waverly Parkway. Waverly has significant traffic, and the requested C-2 zoning will be a transition from the residential to the manufacturing zoning.

Staff believes rezoning to C-2 zone is appropriate for this property due to its location on Waverly Parkway just off Birmingham Highway and surrounded by the M-2 zoning uses.

Recommendation

At the August 27th meeting, the Planning Commission voted 7 to 0 to send a positive recommendation to City Council to approve the rezoning from M-2 to C-2.

WAVERLY PARKWAY REZONING 3900 BLOCK WAVERLY PARKWAY M-2 TO C-2

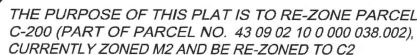
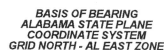


The applicant is requesting to rezone 5.7 acres for office space to rent. The property is adjacent to the OIDA property at the corner of Highway 280 and Veterans Parkway.



Subject Property

The City of Opelika does not guarantee this map to be free from errors or inaccuracies. The City of Opelika, Alabama disclaims any responsibility or liability for interpretations from this map or decisions based thereon. The information contained on this map is a general representation only and is not to be used without



ALL THAT TRACT OR PARCEL OF LAND lying and being located in Section 9 and Section 10, Township 19 North, Range 26 East, City of Opelika, Lee County, Alabama. Commencing from a point at the Southeast corner of Section 10, Township 19 North, Range 26 East, City of Opelika, Lee County, Alabama; Thence South 89 degrees 57 minutes 53 seconds West, a distance of 269.54 feet to a point on the Northernly Right-of-Way of Veterans Parkway (150' Right-of-Way); Thence leaving said Right-of-Way North 23 degrees 39 minutes 27 seconds West, a distance of 100.00 feet to a point on the Southernly Right-of-Way of Veterans Parkway (150' Right-of-Way); Thence along said Right-of-Way North 23 degrees 39 minutes 27 seconds West, a distance of 100.00 feet to a point on the Southernly Right-of-Way of Veterans Parkway (150' Right-of-Way); Thence along said Right-of-Way North 23 degrees 39 minutes 27 seconds West, a distance of 403.18 feet to a point on the Southernly Right-of-Way of Veterans Parkway (150' Right-of-Way); Thence along said Right-of-Way North 23 degrees 39 minutes 27 seconds West, a distance of 68.80 feet to a concrete monument found; Thence along a curve to the right, an arc length of 1657.17 feet, having a radius of 5740.85 feet, and being subtended by a chord bearing South 70 degrees 11 minutes 53 seconds East, a distance of 1229.20 feet to a concrete monument found; Thence along a curve to the right, an arc length of 320.58 feet to a concrete monument found; Thence along a curve to the right, an arc length of 243.81 feet, having a radius of 7734.92 feet, and being subtended by a chord bearing South 79 degrees 56 minutes 53 seconds East, a distance of 403.18 feet to a concrete monument found; Thence along said Right-of-Way (150') SOUTHWESTERLY, said pin being the POINT OF BEGINNING. From said POINT OF BEGINNING, leaving said Right-of-Way North 63 degrees 23 minutes 48 seconds East, a distance of 961.25 feet to an iron pin set "I-17 rebar w/c cap screw" (see attached plat) located on the intersection of Veterans Parkway and the old Veterans Parkway and Creekside Trails Easement following the north chords; South 58 degrees 43 minutes 54 seconds West, a distance of 44.88 feet to a point; North 54 degrees 13 minutes 48 seconds West, a distance of 128.88 feet to a point; North 54 degrees 13 minutes 48 seconds West, a distance of 230.81 feet to a point; South 81 degrees 28 minutes 15 seconds West, a distance of 129.20 feet to a point; North 54 degrees 13 minutes 48 seconds West, a distance of 10.10 feet to a point; South 89 degrees 01 minutes 54 seconds West, a distance of 48.28 feet to a point; South 60 degrees 52 minutes 17 seconds West, a distance of 35.38 feet to a point; North 81 degrees 53 minutes 15 seconds West, a distance of 108.32 feet to a point; North 54 degrees 13 minutes 48 seconds West, a distance of 191.21 feet to a point; North 24 degrees 19 minutes 34 seconds West, a distance of 108.32 feet to a point; North 51 degrees 20 minutes 02 seconds West, a distance of 246.79 feet to a point; North 06 degrees 58 minutes 53 seconds West, a distance of 108.32 feet to a point; Thence along said Right-of-Way (150') SOUTHWESTERLY, said pin being the POINT OF BEGINNING. Said tract containing 5,766 acres or 251,778 square feet.

SURVEY REFERENCES

1. UNRECORDED SURVEY OF THE PERRYMAN HILL PLACE BY DAVID H. MILLER, DATED MAY 10, 2004, BEING RECORDED IN DEED BOOK 2582, PAGE 539, IN THE OFFICE OF THE JUDGE OF PROBATE OF LEE COUNTY, ALABAMA.

I, **B. SHAWN GRAY**, A REGISTERED LAND SURVEYOR IN THE STATE OF ALABAMA, HEREBY DECLARE THAT THIS PLAN OR MAP IS A TRUE AND ACCURATE REPRESENTATION OF A SURVEY CONDUCTED UNDER MY DIRECTION. I FURTHER DECLARE THAT THERE IS NO VISIBLE EVIDENCE OF ENCROACHMENT BY BUILDINGS ON ADJOINING PROPERTY, THAT THE STRUCTURES NOW ERECTED ON SAID PROPERTY ARE WITHIN THE BOUNDARIES OF SAME, EXCEPT AS SHOWN. THERE ARE NO RIGHTS OF WAY OR EASEMENTS VISIBLE, BUT IS SUBJECT TO ANY SUCH RIGHTS OF WAYS AND EASEMENTS THAT MAY BE RECORDED OR UNRECORDED, OR JOINT DRIVE WAYS ON, OVER, OR ACROSS THIS PROPERTY, VISIBLE ON THE SURFACE EXCEPT AS SHOWN ON THIS PLAN.

I HEREBY CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR PROFESSIONAL ENGINEERS IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

B SHAWN GRAY, ALABAMA PLS #25217

sgray@harris-gray.com

HARRIS GRAY LLC

<https://harris-gray.com/>

824 THIRD AVE, WEST POINT, GEORGIA 31833

DATE _____

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26
27
28
29
30
31
32
33
34
35
36
37
38
39
40
41
42
43
44
45
46
47
48
49
50
51
52
53
54
55
56
57
58
59
60
61
62
63
64
65
66
67
68
69
70
71
72
73
74
75
76
77
78
79
80
81
82
83
84
85
86
87
88
89
90
91
92
93
94
95
96
97
98
99
100
101
102
103
104
105
106
107
108
109
110
111
112
113
114
115
116
117
118
119
120
121
122
123
124
125
126
127
128
129
130
131
132
133
134
135
136
137
138
139
140
141
142
143
144
145
146
147
148
149
150
151
152
153
154
155
156
157
158
159
160
161
162
163
164
165
166
167
168
169
170
171
172
173
174
175
176
177
178
179
180
181
182
183
184
185
186
187
188
189
190
191
192
193
194
195
196
197
198
199
200
201
202
203
204
205
206
207
208
209
210
211
212
213
214
215
216
217
218
219
220
221
222
223
224
225
226
227
228
229
230
231
232
233
234
235
236
237
238
239
240
241
242
243
244
245
246
247
248
249
250
251
252
253
254
255
256
257
258
259
260
261
262
263
264
265
266
267
268
269
270
271
272
273
274
275
276
277
278
279
280
281
282
283
284
285
286
287
288
289
290
291
292
293
294
295
296
297
298
299
300
301
302
303
304
305
306
307
308
309
310
311
312
313
314
315
316
317
318
319
320
321
322
323
324
325
326
327
328
329
330
331
332
333
334
335
336
337
338
339
340
341
342
343
344
345
346
347
348
349
350
351
352
353
354
355
356
357
358
359
360
361
362
363
364
365
366
367
368
369
370
371
372
373
374
375
376
377
378
379
380
381
382
383
384
385
386
387
388
389
390
391
392
393
394
395
396
397
398
399
400
401
402
403
404
405
406
407
408
409
410
411
412
413
414
415
416
417
418
419
420
421
422
423
424
425
426
427
428
429
430
431
432
433
434
435
436
437
438
439
440
441
442
443
444
445
446
447
448
449
450
451
452
453
454
455
456
457
458
459
460
461
462
463
464
465
466
467
468
469
470
471
472
473
474
475
476
477
478
479
480
481
482
483
484
485
486
487
488
489
490
491
492
493
494
495
496
497
498
499
500
501
502
503
504
505
506
507
508
509
510
511
512
513
514
515
516
517
518
519
520
521
522
523
524
525
526
527
528
529
530
531
532
533
534
535
536
537
538
539
540
541
542
543
544
545
546
547
548
549
550
551
552
553
554
555
556
557
558
559
560
561
562
563
564
565
566
567
568
569
570
571
572
573
574
575
576
577
578
579
580
581
582
583
584
585
586
587
588
589
590
591
592
593
594
595
596
597
598
599
600
601
602
603
604
605
606
607
608
609
610
611
612
613
614
615
616
617
618
619
620
621
622
623
624
625
626
627
628
629
630
631
632
633
634
635
636
637
638
639
640
641
642
643
644
645
646
647
648
649
650
651
652
653
654
655
656
657
658
659
660
661
662
663
664
665
666
667
668
669
670
671
672
673
674
675
676
677
678
679
680
681
682
683
684
685
686
687
688
689
690
691
692
693
694
695
696
697
698
699
700
701
702
703
704
705
706
707
708
709
710
711
712
713
714
715
716
717
718
719
720
721
722
723
724
725
726
727
728
729
730
731
732
733
734
735
736
737
738
739
740
741
742
743
744
745
746
747
748
749
750
751
752
753
754
755
756
757
758
759
760
761
762
763
764
765
766
767
768
769
770
771
772
773
774
775
776
777
778
779
780
781
782
783
784
785
786
787
788
789
790
791
792
793
794
795
796
797
798
799
800
801
802
803
804
805
806
807
808
809
810
811
812
813
814
815
816
817
818
819
820
821
822
823
824
825
826
827
828
829
830
831
832
833
834
835
836
837
838
839
840
84



HARRIS GRAY, LLC
ENGINEERS • SURVEYORS • PLANNERS
CERTIFICATE OF AUTHORIZATION NO.: LSF 001188
524 THIRD AVENUE • WEST POINT, GEORGIA 31833
PHONE: (770) 845 - 5995

REF-ZONING EXHIBIT FOR

BC STONE HOMES

SECTION 9 AND 10, T-19-N, R-26-E
CITY OF OPELIKA, LEE COUNTY, ALABAMA

[illegible]

THIS PLAT IS NOT VALID UNLESS IT BEARS THE ORIGINAL SIGNATURE OF THE REGISTRANT ACROSS THE REGISTRANT'S SEAL

SHT. 1 OF 1

City of Opelika

Planning Commission

Planning Department Report

Meeting Date:	August 27, 2024 (tabled in July 2024)		
Agenda Item #:	H-15		
Action Requested:	Ballfields Master Plan Amendment – Amendment to replace 32 townhome units with 64 apartment units		
Location of Property:	Southwest corner of the intersection of Pepperell Parkway and North 30 th Street		
Property Owner:	Gateway at Opelika, LLC.		
Current Zoning:	PUD		
Proposed Zoning:	PUD (Planned Unit Development)		
Existing Land Use:	Undeveloped (former ballfields)		
Surrounding Zoning Districts And Land Uses:	North	PUD	Vacant/Commercial (retail)
	South	C-3	Office
	East	PUD	The Austin apartments
	West	C-3	Vacant

Rezoning:

The subject property is approximately 60.74 acres with a planned unit development (PUD) zoning district that was approved in 2019. The approved development consisted of 232 residential units (200 apartments, 32 townhomes) with commercial uses along the Pepperell Parkway. There is also a large amenity area along Pepperell Creek. In 2022, the developer requested to reduce the overall number of units from 368 to 232 reducing the overall number of units and replacing a section with townhomes. The applicant is now requesting to remove the townhome section and put some apartment units back for a total of 264 apartments and zero (0) townhomes. This is an increase of 32 from the current approval, but 104 units less than the original approval.

The approved plan had a density 4.04 units per acre over the 60.74-acre portion of the property. The revised plan with 264 units would now have a density of 4.34 units per acre.

The commercial property along the frontage is approximately 4.04 acres and shows five proposed buildings. The number of buildings increased, but overall the commercial area is still consistent with the original approval. The narrative provided by the applicant lists the allowed uses in this area as those typically found in the C-3 zone. The applicant has listed some uses that they would restrict through the PUD. These would include adult businesses, outside manufacturing, body art, cemetery, and package stores among others. Other uses that would be conditional in the C-3 zone would require conditional use if desired later. These uses would typically include those with an outside component.

During the initial approval process, there was significant discussion regarding how the multi-family would be buffered from the existing residential in the Mill Village. These units would be located on the far end from the existing Mill Village. The proposed buildings would be similar to the recently constructed three (3) story buildings within the remainder of the development.

The applicant has revised the site plan from last month's submittal. Instead of having large turnaround areas, the newest phase would connect into the existing parking lot of rest of the development. This removes awkward turnarounds and allows more seamless movement throughout the internal parking drives.

The proposed apartments would meet the setbacks except for the setback along Ballfields Loop. This is due to the previous stub to the townhouse section. As this property would not be used for access, it should be reworked and the right-of-way can likely be vacated. This would resolve any setback issue.

Each use will require a full landscape plan prior to the release of a building permit for the particular use. This will ensure that all stages of the development meet city landscaping requirements.

Amenities – The site plan and narrative both show a clubhouse, pavilion, fitness area and dog park. This area is close to Shady Park in the Mill Village and this park would likely be used by residents as well. There is also a large flood plain area shown along Pepperell Creek.

The proposed development will provide good residential opportunities in an area that already has access and available utilities. This housing is located in an area with nearby natural amenities, job centers, retail and access to major transportation areas.

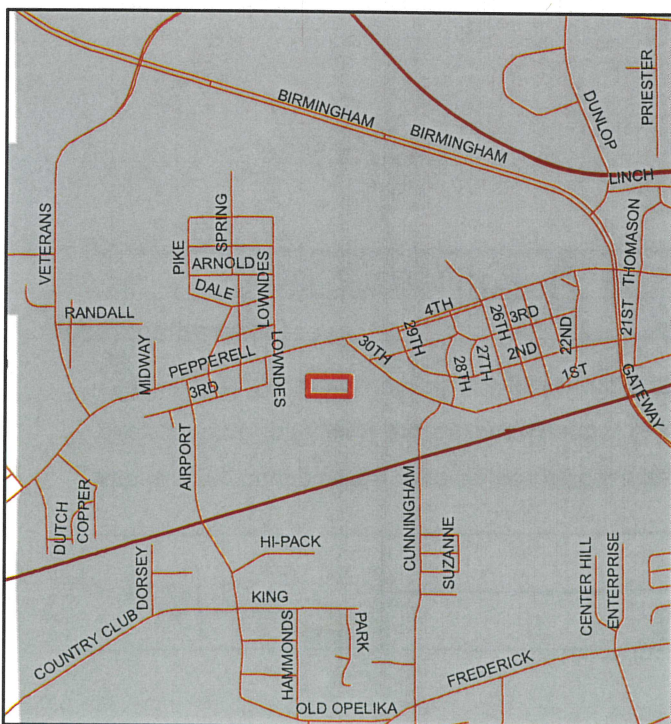
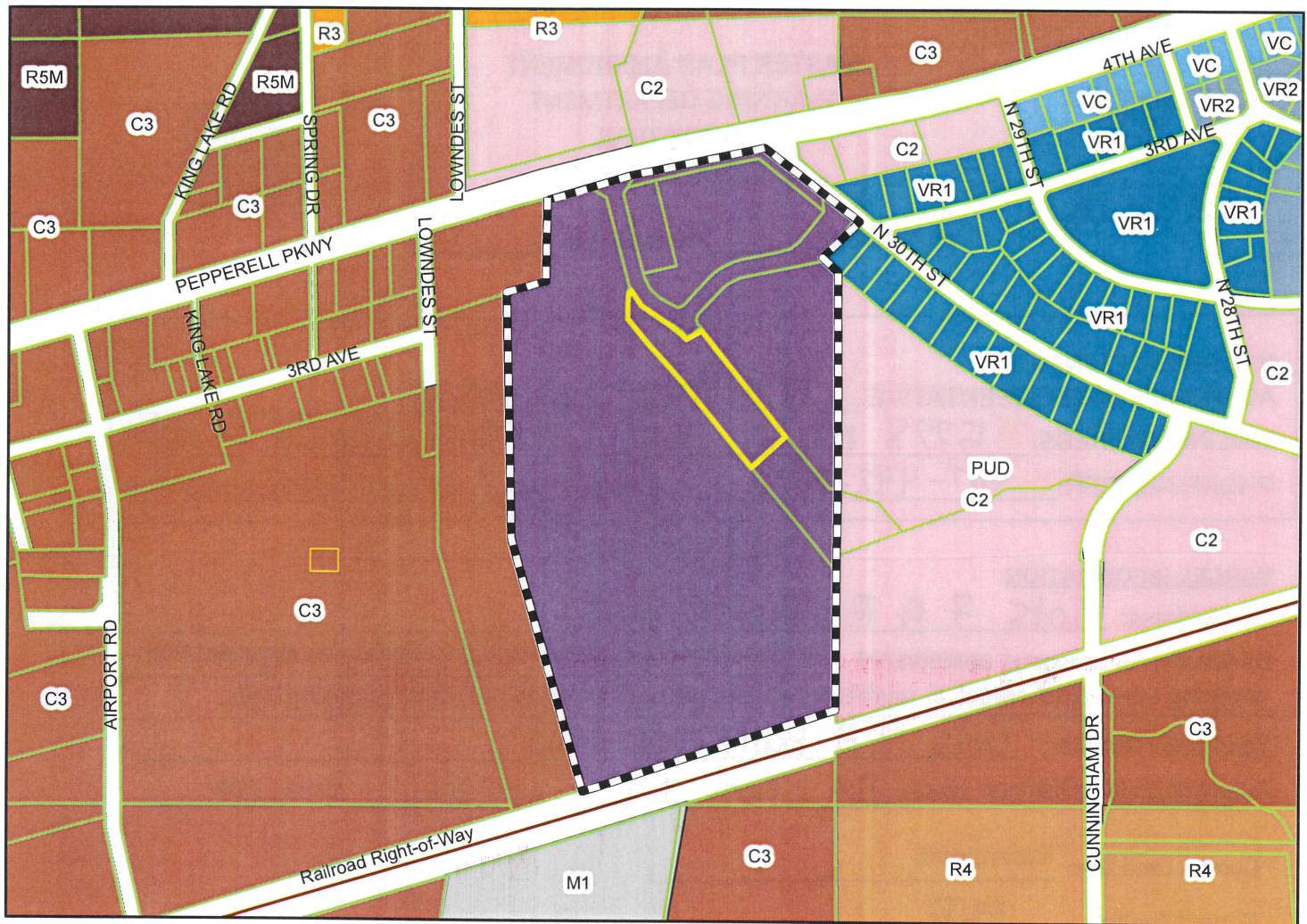
Staff Recommendation:

Staff believes that proposed revisions fix most of the previous issues raised at the last meeting. Staff recommends a positive recommendation to City Council with the following conditions:

- 1. The former stub street to the townhouse section shall be revised in coordination with the City of Opelika Engineering Department to remove the curb cut and rework all utilities no longer needed meeting all city standards**
- 2. Landscaping plans meeting the requirements for each use will be required prior to the issuance of a building permit. A similar buffer to the other frontage along Ballfield Loop shall be provided.**
- 3. All utilities shall be underground.**
- 4. All dumpsters shall be fully screened.**
- 5. All buildings shall comply with City of Opelika Gateway Corridor standards including cladding and screening requirements.**
- 6. Access to Ballfield Loop and Cunningham Drive through the existing drives shall remain. Both entry and egress from both drives shall be available at all times for residents and emergency personnel. Any gates shall be approved by the Opelika Police and Fire Department and meet their access requirements.**

At the August 27th meeting, the Planning Commission voted 7 to 0 to approve the master plan amendment with conditions as provided in the report.

MASTER PLAN REVISIONS - THE BALLFIELDS PUD PEPPERELL PARKWAY & NORTH 30TH STREET MAJOR AMENDMENT FROM TOWNHOMES TO APARTMENTS

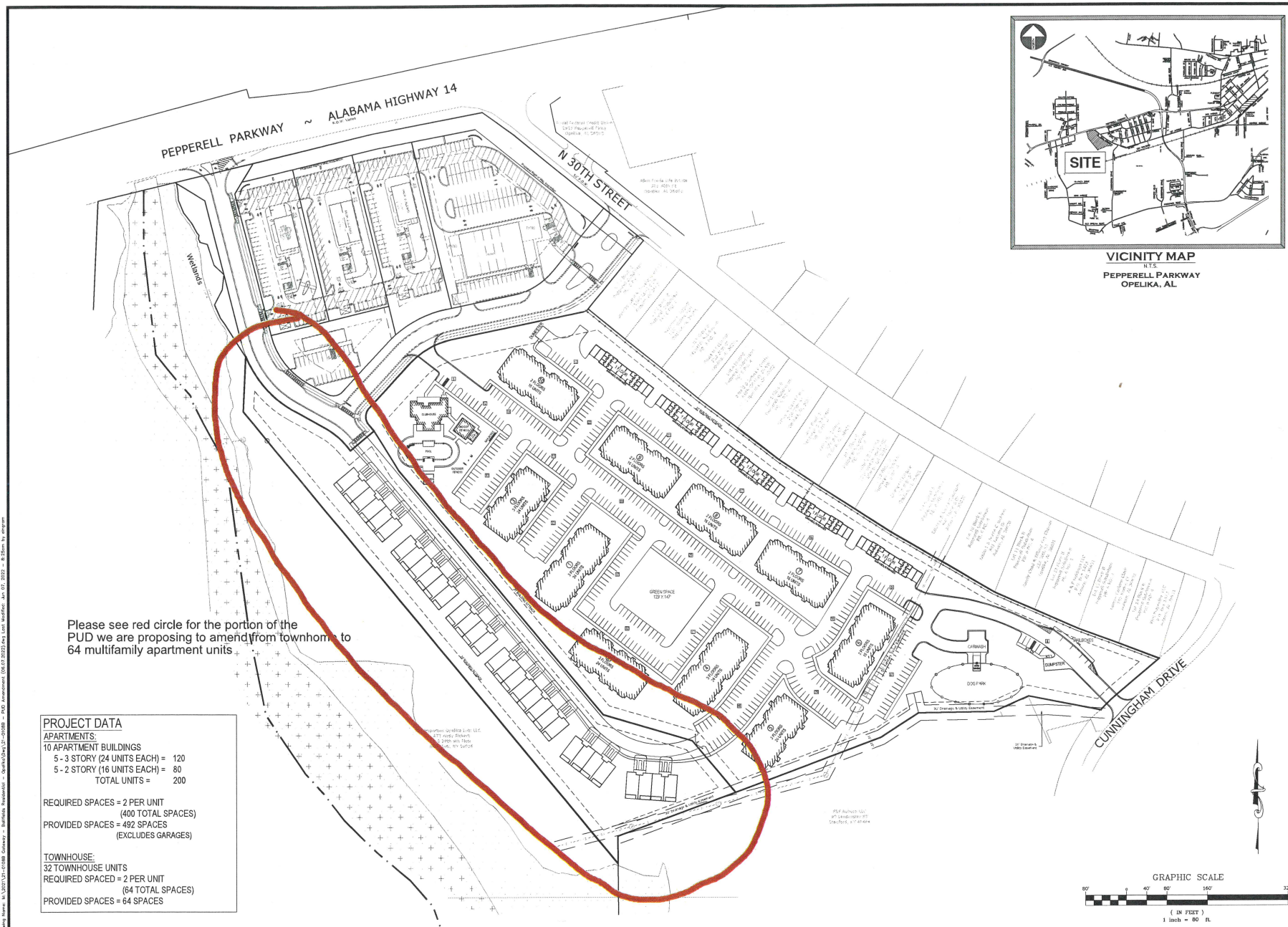


The applicant is requesting a major amendment to the PUD Master Plan to replace approved 32 townhomes with 64 apartment units. A recommendation from the Planning Commission will be sent to City Council to vote on the request. This item was tabled at the July 23rd PC meeting.



Subject Property

The City of Opelika does not guarantee this map to be free from errors or inaccuracies. The City of Opelika, Alabama disclaims any responsibility or liability for interpretations from this map or decisions based thereon. The information contained on this map is a general representation only and is not to be used without verification by an independent professional qualified to verify such information.



Please see red circle for the portion of the PUD we are proposing to amend from townhome to 64 multifamily apartment units.

PROJECT DATA

APARTMENTS:

10 APARTMENT BUILDINGS

5 - 3 STORY (24 UNITS EACH) = 120

5 - 2 STORY (16 UNITS EACH) = 80

9 - 2 START (10 UNITS EACH)	90
TOTAL UNITS =	200

REQUIRED SPACES = 2 PER UNIT

(400 TOTAL SPACES)

PROVIDED SPACES = 492 SPACES

(EXCLUDES GARAGES)

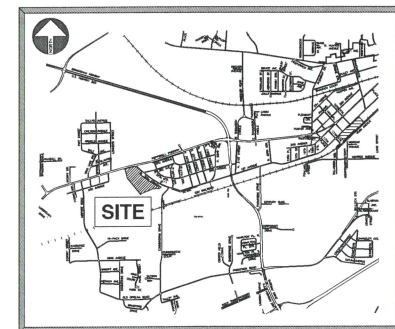
TOWNHOUSE:

32 TOWNHOUSE UNITS

REQUIRED SPACED = 2 PER UNIT

REQUIRED SPACES = 2 PER UNIT
(64 TOTAL SPACES)

PROVIDED SPACES = 64 SPACES



BARRETT-SIMPSON, INC.
Civil Engineers & Land Surveyors



**FALCON
DEVELOPMENT**

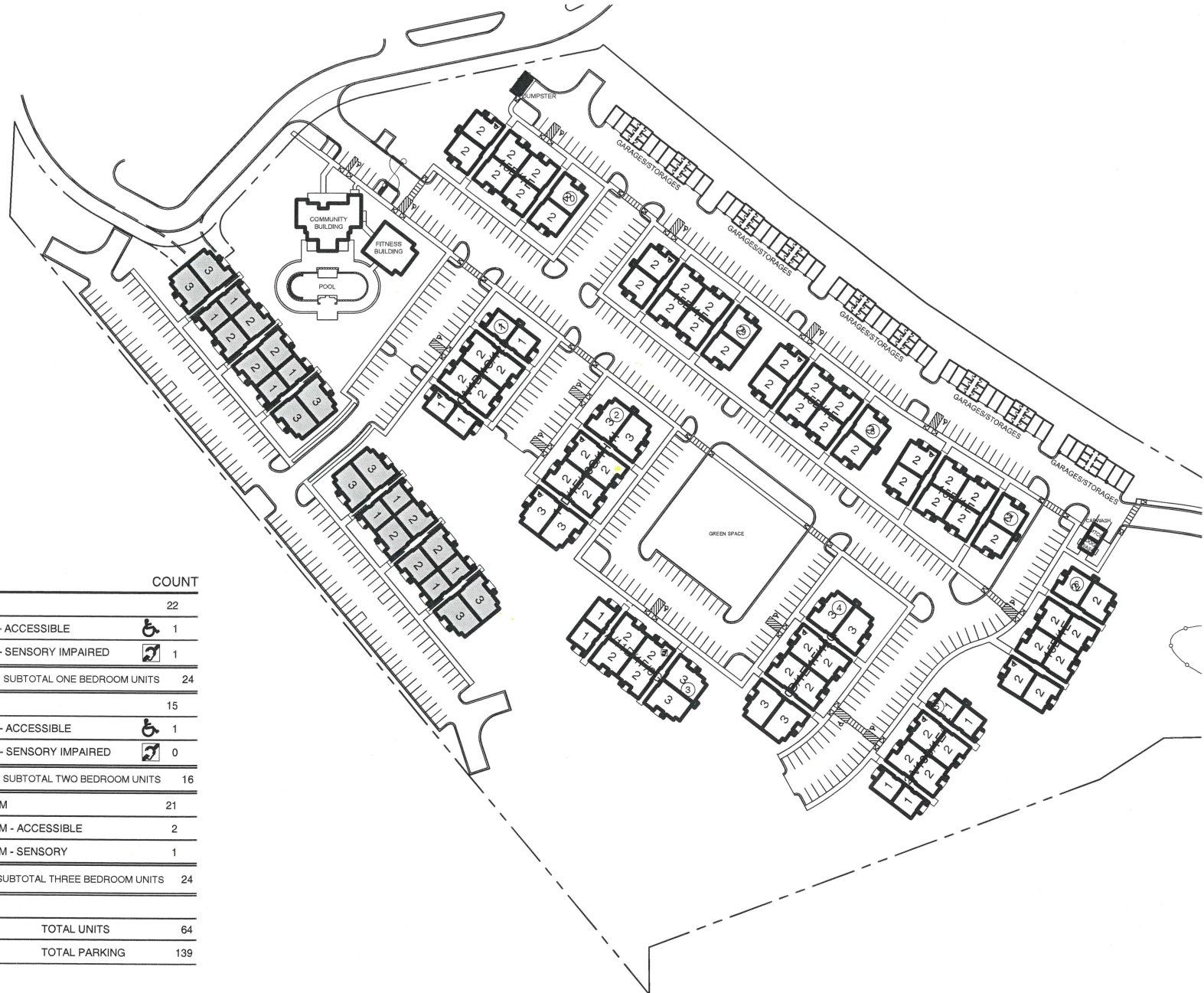
1	01 FEB 2022 - INITIAL ISSUE
2	07 JUNE 2022

© 2022 BARRETT-SIMPSON, INC.
These drawings are protected
under The Copyright Act of 1976
and may not be reproduced in
any form without the express
written permission of Barrett-
Simpson, Inc.

PROPOSED SITE PLAN

DRAWN BY: DESIGNED BY: REVIEWED BY: APPROVED BY:	DATE: 07 JUNE 2022
PROJECT NAME: 21-0108	SHEET NUMBER:

C1



LEGEND

UNIT TYPE	COUNT
UNIT "A" - ONE BEDROOM	22
UNIT "B" - ONE BEDROOM - ACCESSIBLE	1
UNIT "C" - ONE BEDROOM - SENSORY IMPAIRED	1
SUBTOTAL ONE BEDROOM UNITS	24
UNIT "A" - TWO BEDROOM	15
UNIT "B" - TWO BEDROOM - ACCESSIBLE	1
UNIT "C" - TWO BEDROOM - SENSORY IMPAIRED	0
SUBTOTAL TWO BEDROOM UNITS	16
UNIT "D" - THREE BEDROOM	21
UNIT "D" - THREE BEDROOM - ACCESSIBLE	2
UNIT "D" - THREE BEDROOM - SENSORY	1
SUBTOTAL THREE BEDROOM UNITS	24
TOTAL UNITS	64
TOTAL PARKING	139

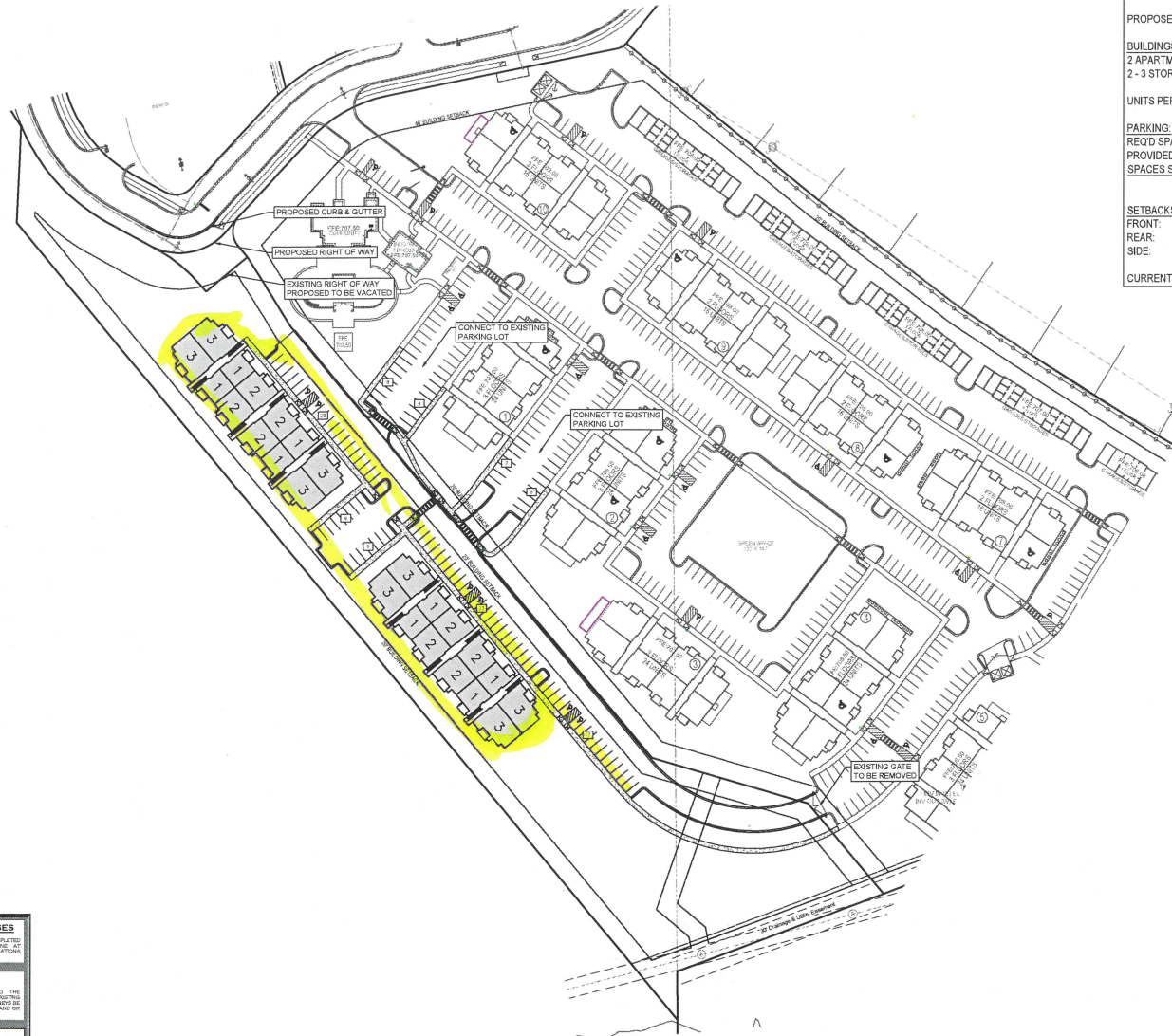
OWNER:	
ARCHITECT:	THE ARCHITECTURAL OFFICE OF WILLIAM J. PEEK P.C. 908 SOUTH HULL STREET MONTGOMERY, AL 36104

The Austin, Opelika, Alabama
Proposed Building Locations

PROPOSED
SITE PLAN

07/02/2024

3



PROJECT DATA

TOTAL PROPERTY:	4.45 AC
PROPOSED USE:	APARTMENTS
BUILDINGS:	
2 APARTMENT BUILDINGS	
2 - 3 STORY (32 UNITS EACH) =	64
UNITS PER ACRE = 64 / 4.45 =	14.38
PARKING:	
REQ'D SPACES = 2 SPACES/UNIT =	128 SPACES
PROVIDED SPACES =	107 SPACES (INC. 6 HC)
SPACES SHARED W/ PHASE 1 =	21 SPACES
TOTAL =	128 SPACES
SETBACKS:	
FRONT:	40'
REAR:	20'
SIDE:	20'
CURRENT ZONING:	PUD

BARRETT-SIMPSON, INC.
Civil Engineers & Land Surveyors



THE GATEWAY COMPANIES
BIRMINGHAM, ALABAMA
The Austin Apartments,
Phase 2
OPELIKA, ALABAMA

REVISIONS

© 2024 BARRETT-SIMPSON, INC.
These drawings are provided
under the Copyright Act of 1976
and may not be reproduced in
any form without the express
written permission of Barrett-Simpson, Inc.

PHASE 2 SITE PLAN

DRAWN BY: A. BARNES
CHECKED BY: G. HARRIS
REVIEWED BY: C. KERRIN
APPROVED BY: C. KERRIN

DATE: 8 AUGUST 2024
PROJECT NAME: 21-0108B

1

PAYMENT DISCLAIMER FOR FIELD CHANGES

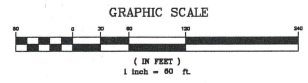
ANY CONSTRUCTION WORK CHARGED TO THESE ENGINEERED PLANS COMPLETED
HEREIN, ENGINEER, ARCHITECT, INTERIOR DESIGNER, SHALL BE RESPONSIBLE FOR
CONTRACTOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE
APPLICABLE AGENCIES AND/OR PERMITTING AGENCIES.

NOTICE TO CONTRACTORS

CONTRACTOR SHALL CAREFULLY EXAMINE ALL DOCUMENTS AND THE
CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE
INFORMATION PROVIDED HEREIN. ANY CHANGES TO THE
PLANS SHALL BE MADE BY THE ARCHITECT OR ENGINEER AND
NOT BY THE CONTRACTOR. ANY CHANGES TO THE PLANS
SHALL BE MADE BY THE ARCHITECT OR ENGINEER AND
NOT BY THE CONTRACTOR.



Know what's below.
Call before you dig.



RESOLUTION NO. _____

WHEREAS, the Purchasing Department opened sealed bids for a contract for N 7th St. Storm Drainage Updates for the Engineering Department; and

WHEREAS, SDAC submitted the low bid meeting specifications; and

WHEREAS, funding for this contract is coming from the 2024 Roadway Fund;

NOW, THEREFORE, BE IT RESOLVED by the City of Opelika, Alabama as follows:

1. That the contract be awarded to SDAC on their low bid meeting specifications.
2. That the Purchasing-Revenue Manager be authorized to issue a purchase order to SDAC in the total amount of \$874,962.83.
3. That the Controller be authorized to adjust the budget as necessary for this contract.
4. That the Mayor is hereby authorized to sign all documents pertaining to this contract.

APPROVED AND ADOPTED this the _____ day of _____, 2024.

C. E. "Eddie" Smith, Jr.
President of the City Council
City of Opelika, Alabama

ATTEST:

Russell A. Jones, MMC
City Clerk

FACT SHEET

SUBJECT: Sealed Bid #24029 – We are asking the Council to approve a contract for
N 7th St. Storm Drainage Updates

FACTS:

- Bid opening date – 8/27/24
- User department – Engineering
- The bid was mailed to 15 vendors
- 2 bids was received
- Budgeted contract
- Bid tabulation sheet attached

RECOMMENDATION:

- **Recommend the bid be awarded to SDAC on their low bid meeting specifications in the total amount of \$874,962.83.**

BID# 24029 DATE: 8/27/24 DEPT: ENGINEERING			15 VENDORS INVITED	
DESCRIPTION: N 7TH ST. STORM DRAINAGE UPDATES			2 BIDS RECEIVED	
VENDOR	TOTAL	ALT BID TOTAL	TERMS	DISC
ALEXANDER CONTRACTING CO INC				
BAILEY-HARRIS CONSTRUCTION CO				
CB AND A CONSTRUCTION				
CIRCLE K SERVICES LLC				
D & J ENTERPRISES INC				
EAST AL PAVING CO INC				
EVERGREEN SITEWORKS LLC				
HUDMON CONSTRUCTION				
J A SMITH CONSTRUCTION				
JBAR CONSTRUCTION				
JOSH CARO CONSTRUCTION (JCC)				
SDAC	\$ 874,962.83	--	--	--
TOLAND CONSTRUCTION LLC				
WARR GRADING				
WS NEWELL AND SONS INC				
JLD Enterprises LLC	\$ 881,178.80	--	--	--