



AGENDA

CITY OF OPELIKA
HISTORIC PRESERVATION COMMISSION
September 12, 2024
4:30 p.m.
Meeting Chambers at Opelika Municipal Courtroom
300 MLK Boulevard

Call to Order

Approve August 8, 2024 minutes.

Public Comment/Citizen Communication

Old Business

New Business

1. 501 N. 8th St: Northside Historic District
COA: Extend Two Driveways
Applicant: Ed & Jane Ann Fleming
2. 223 S. 8th St.: Downtown Historic District
COA: Paint Brick Facade
Applicant: Michelle Key/Key Media
3. 13 N. 8th St: Downtown Historic District
COA: Demolition
Applicant: SMB Easy, LLC
4. 615 3rd Ave: Northside Historic District
COA: Brick & Wood Fence
Applicant: Jim Akin
5. 300 S. 7th St: Downtown Historic District
COA: New Construction Townhomes
Applicant: Stone Ray & Andrew Parmer

Other Business

6. Enforcement Report

7. Staff Report
8. Next meeting October 10, 2024
9. Adjournment

The City of Opelika complies with the Americans with Disabilities Act and will make reasonable arrangements to ensure accessibility to meetings. If you need special assistance, please call the City's ADA Coordinator 72 hours prior to the meeting at (334)705-5130.



HISTORIC PRESERVATION COMMISSION MINUTES

300 Martin Luther King Blvd.

August 8, 2024

TIME: 4:30 PM

1. A CALL TO ORDER

Rush Denson called the meeting to order at 4:30

2. APPROVAL OF MINUTES

Debbie Purves motioned to approve the July 11, 2024 minutes. The motion was seconded by Linda Lanz. All approved.

1. Approve July 11, 2024 minutes

3. PUBLIC HEARINGS

(Limit comments to 3 minutes or less)

Rush Denson opened the floor for public comments. There were none.

4. OLD BUSINESS

There was no old business to discuss.

5. NEW BUSINESS

2. 511-513 S. 8th St: Geneva Historic District

COA: Tree Removal

Applicant: Cody Holly

Agenda Item #: 1

Meeting Date: 08/08/2024

Action Requested: COA: Tree Removal

Location of Property: **511-513 S. 8th St; Geneva Historic District**

Petitioner: Cody Holly

Resources:

Vacant lot located in the Southside development in the Geneva Historic District.

Proposal: The petitioner requests a COA for the following:

1. Remove four (4) trees at rear of property that root systems have been damaged during excavation and digging footings. Root systems may also cause future damage to foundations. Due to tight setback requirements, shifting site plan is not an option.
2. The replacement plan includes planting four (4) 3 inch minimal caliper oak trees along rear property line.

Guidelines:

A. THE ENVIRONMENT:

1. The environment consists of all exterior features in the designated historic districts which are visible to the public and includes structures, outbuildings, landscaping, streets, appurtenances, trees, mass and spacing between structures, scale, mass, color and materials of buildings that give a neighborhood its distinguishing character and contributes to its historic

district designation.

2. Significant landscape features such as public parks and gardens, street lighting, signs, street benches, sidewalks, streets, alleys and building setbacks that have traditionally been maintained in the historic district and that contribute to its historic character should be retained. Existing streets should not be widened. paving material should not be changed to a different texture and color. Inappropriate new streets or parking lots incompatible with the neighborhood should not be constructed. (*updated 08/12/14*)
3. New plant materials, fencing, walkways, housing and other outdoor lights, signs, benches, etc. should be compatible with the character of the neighborhood in size, scale, material and color.
4. Plant material should be maintained so as not to become a hazard to the public, public property or shall not be allowed to cause deterioration to structures.
5. Existing street trees should not be removed without supporting documentation and a plan for replacement. Trees located in the city right of way cannot be removed without city approval (*updated 09/09/22*)

The following items DO NOT require a COA:

- Back yard Tree house, swing sets and trampolines
- Benches and other outdoor furniture and accessories
- Sculpture and another outdoor artwork
- Pools and patios
- Tree pruning, clearing of overgrown bushes, vines, saplings, etc.
- Tree removal (less than 4” diameter at breast height or diseased).
- Planting new trees, shrubs, ground cover, etc.
- Landscape edging
- Flower, vegetable and rock gardens
- Flowerpots, planters, window boxes, birdbaths, bird houses, etc.
- Adding gravel to existing driveways
- Patching deteriorated concrete or asphalt pavement, walks, steps, etc.

The following commonly requested projects require a COA:

- Changes to stone walls and other historic site features
- New or expanded parking areas/lots
- New and expanded driveways and walkways
- Staff approval for change of materials (i.e. gravel to concrete)
- Staff approval for tree removal with supporting documentation from a Certified Arborist that the tree is either dead, in severe decline, and/or possess a high risk of failure. Trees to be reviewed by the City Arborist. A tree replacement plan must be provided. (*Updated 09/09/22*)

B. BUILDING SITE:

1. Landscaping in an important part of the historic district and important landscape features such as old plants, trees, fencing, walkways, out-buildings and other elements of historic or artistic merit or that reflect the property’s history and development should be maintained and preserved. Old plants, trees, fencing, walkways, out-buildings and other exterior elements should be maintained until their importance in the property’s history and development has been evaluated. This evaluation should consist of actual knowledge of the past appearance of the property found in photographs, drawings, newspapers, tax records, fire maps, etc. Complete removal of significant and historic plants and trees should be avoided and where necessary, pruning and cutting back should be encouraged instead of complete removal.
2. Plant material which is in very close proximity to a historic structure, and

which is causing deterioration of the historic fabric of the structure may be removed or pruned back to eliminate damage to the structure.

- 3. Drainage around historic structures is important and proper site and roof drainage should be maintained. Water should drain away from building foundations and should not be trapped or allowed to stand adjacent to building foundations. Roof drains and gutters should not be allowed to clog up and cause water to pond on the roof or in interior gutters.

Staff recommendation:

- 1. Staff recommend removal of all four (4) trees which have been compromised due to required site work. Replacement trees should be at least 3 inches in diameter (caliber) and 10-12 feet in height.

Discussion:

Staff explained that several trees had been compromised during excavation to set footings for the new construction home, possibly damaging the root system of the trees. The applicant wishes to remove those trees which are very close to the building site and replant trees closer to the back property line. The city arborist provided a report stating there is a high risk of mortality and possible failure.

The developer, Cody Holly, stated that the trees will pose a threat to the construction when they begin dieting and the roots systems could compromise the new foundations. They wish to remove them now to prevent these occurrences and will plant four new trees at the back.

There was no further discussion.

A motion was made by John Marsh to approve with staff recommendations. The motion was seconded by Mark Grantham. All approved.

- 3. 515 S. 8th St: Geneva Historic District
COA: Partial Removal of Rock Wall
Applicant: Cody Holly
Agenda Item #: 2
Meeting Date: 08/08/2024
Action Requested: COA: Partial Removal of Rock Wall
Location of Property: **515 S. 8th St; Geneva Historic District**
Petitioner: Cody Holly

Resources:

Existing rock and concrete wall along S. 8th Street of the Southside development in the Geneva Historic District.

Proposal: The petitioner requests a COA for the following:

- 1. Removal of approximately 10-12ft of existing rock and concrete wall to realign the shared driveway to more accurately match the recorded plat while respecting the historic wall.

Guidelines:

A. THE ENVIRONMENT:

- 1. The environment consists of all exterior features in the designated historic districts which are visible to the public and includes structures, outbuildings, landscaping, streets, appurtenances, trees, mass and spacing between structures, scale, mass, color and materials of buildings that give a neighborhood its distinguishing character and contributes to its historic district designation.

2. Significant landscape features such as public parks and gardens, street lighting, signs, street benches, sidewalks, streets, alleys and building setbacks that have traditionally been maintained in the historic district and that contribute to its historic character should be retained. Existing streets should not be widened. paving material should not be changed to a different texture and color. Inappropriate new streets or parking lots incompatible with the neighborhood should not be constructed. (*updated 08/12/14*)
3. New plant materials, fencing, walkways, housing and other outdoor lights, signs, benches, etc. should be compatible with the character of the neighborhood in size, scale, material and color.
4. Plant material should be maintained so as not to become a hazard to the public, public property or shall not be allowed to cause deterioration to structures.
5. Existing street trees should not be removed without supporting documentation and a plan for replacement. Trees located in the city right of way cannot be removed without city approval (*updated 09/09/22*)

The following items DO NOT require a COA:

- Back yard Tree house, swing sets and trampolines
- Benches and other outdoor furniture and accessories
- Sculpture and another outdoor artwork
- Pools and patios
- Tree pruning, clearing of overgrown bushes, vines, saplings, etc.
- Tree removal (less than 4” diameter at breast height or diseased).
- Planting new trees, shrubs, ground cover, etc.
- Landscape edging
- Flower, vegetable and rock gardens
- Flowerpots, planters, window boxes, birdbaths, bird houses, etc.
- Adding gravel to existing driveways
- Patching deteriorated concrete or asphalt pavement, walks, steps, etc.

The following commonly requested projects require a COA:

- Changes to stone walls and other historic site features
- New or expanded parking areas/lots
- New and expanded driveways and walkways
- Staff approval for change of materials (i.e. gravel to concrete)
- Staff approval for tree removal with supporting documentation from a Certified Arborist that the tree is either dead, in severe decline, and/or possess a high risk of failure. Trees to be reviewed by the City Arborist. A tree replacement plan must be provided. (*Updated 09/09/22*)

10. Appurtenances:

- a. Appurtenances related to a building (fences, walls, outdoor lighting, steps, paving, sidewalks and signs) should be visually compatible with the environment to which they are related.

- b. Fences:

The size, scale, and transparent quality of the fence shall be considered in the design to minimize the impact on the historic fabric on the neighborhood. The orientation and location of the fence shall also be considered, with the structural members located on the interior of the fence (pretty side out) and the location and size such that it does not block views of the buildings from the street.

Front, side and rear yard area will be determined on a case-by-case basis from a site plan showing the footprint of house and proposed fence, due to the variety of lot and building shapes. Generally speaking, the front

yard is the portion of lot between the street and the rear edge of the building; the side yard is the portion of lot behind the house, between the sidewalk and the rear corner of the building, on corner lots; and the rear yard is the portion of lot behind house. Staff approval may be granted for fences that clearly fall within the guideline specifications; particularly those pertaining to staff permissible-materials and fence heights.

1. Low retaining walls in front and side yards should be kept where they exist. If new retaining walls are required, they should match the existing or match a documented example correct for the period of the structure.

1. Existing period fencing should be maintained and repaired. Where necessary to replace period fencing, it should be replaced with compatible fencing of the same material, size and appropriate design.

1. Materials:

Where a fence is desired to be installed, it should be appropriate for the period and architectural style of the structure. Materials and size of the fence should be documented as correct for the period of the structure.

- i. Appropriate materials: wood, iron, wire, stone or plants.
- ii. Inappropriate materials: chain link, concrete block, unfaced concrete, plastic, fiberglass, plywood, slatted "snow" fences and mesh "construction" fences

1. Chain link fences may be used in rear yards, if visible from the street, shall be camouflaged with vegetation.
2. Staff approved fences are limited to wood dog ear and open gothic fences as pictured below. Other styles or materials require formal Commission approval.

1. Heights:

Generally, low fences should be used at the fronts and visible street side yards near public sidewalks. Taller fences and solid walls may be used in rear yards and side yards when set back from the sidewalk.

- i. front yard fences should not be taller than 4 feet. A height of up to 6 feet is permitted only if set back at least 1/3 the structure's length or 1/3 the adjacent structure's length, whichever is furthest from the street. Measurement should be taken from the structures' respective facades.
- ii. side yard fences should not be taller than 6 feet
- iii. rear yard fences should not be taller than 8 feet

Requests for new fences must have a site plan, with proposed fence heights clearly marked.

The following items DO NOT require a COA:

- Repairs to existing walls and fences and other historic site features
- Wood dog ear and wood open gothic fences that clearly fall within the setback and height requirements (staff approval)

The following commonly requested projects require a COA:

- Changes to stone walls and other historic site features
- All new fences and walls

Staff recommendation:

1. Staff recommend realignment of drive and removal of 8ft of existing

- wall to better match recorded plat. This may require the driveway entrance to curve but will assure stairs are not compromised.
2. Applicant will be responsible for relocation of street light and any other utilities.

Discussion:

Staff provided a brief description of the proposed driveway realignment towards the right, placing it more inline with the original plat. Moving the driveway will require removing part of the historic wall. Staff recommended leaving approximately two feet to the left of the stairs to protect them from being compromised.

A motion was made by Linda Lanz to approve with staff recommendations. The motion was seconded by Debbie Purves. All approved.

4. 315 N. 9th St: Northside Historic District
COA: Window Replacement
Applicant: Kathryn James

Agenda Item #: 3
Meeting Date: 08/08/2024
Action Requested: COA: New Windows
Location of Property: 514 N. 9th St; Northside Historic District
Petitioner: Kathryn James

Resources:

Circa 1950. One story, wood frame minimal traditional with cross gable roof of asphalt shingles, weatherboard siding, off center wood door with stop, flanking 3/1 double hung sash windows, side screened porch. Contributing Resource.

Proposal: The petitioner requests a COA for the following:

1. Replace all windows with ENVIROGUARD cellular PVC double hung, OSF (outside frame) and 7/8" SDL (simulated divided lite). Paint grade. 3/1 grid pattern to remain. Current windows are hard to open and have wood rot.

Guidelines:

Windows:

- a. Retain and repair existing windows including window sash, glass, lintels, sills, architraves, shutters, pediments, hoods and hardware. If new sashes are used, duplicate the original material, design, size and hardware of the original window. Do not change window size, sash size or windowpane size.
- b. Do not introduce or create new window openings into the front principal elevation of the structure and do not enlarge or reduce original window openings to fit new stock window sizes.
- c. The original number and arrangement of panes should be maintained.
- d. Storm windows should be visually unobtrusive and should not damage existing window frames. Storm windows should be designed so that they can be removed in the future without damage to the original fabric of the structure. Storm windows should be compatible in color and design with the original windows. For example, mill finished aluminum storm windows

should not be used with painted window sash.

- e. Plastic, canvas or metal strip awnings or fake shutters that are not compatible with the architectural style of the structure should not be used.
- f. Where existing shutters are replaced or reinstalled when missing, the new shutters shall be sized to fit the window opening, in height and width, whether the shutters are fixed or operable. Composite materials are allowable for shutters so long as they duplicate the original in shape and texture.
- g. New window openings should not be introduced unless they match the existing window configuration and their placement harmonized with the existing rhythm of openings.
- h. Original windows should not be filled in.

Staff recommendation:

- 1. Staff recommends approval of installation of new PVC composite simulated divided light with external grille windows with the same grid pattern (3/1) as existing windows. The width of trim surrounding the windows should be of the same dimensions as existing windows. All windows should be the same size as the original opening, requiring no infill.

Discussion:

Staff provided details for window replacement of wood windows due to rot. The new windows will be composite cellular PVC with simulated divided lite. Grid pattern to match existing windows of 3/1. Staff stated that recommendation of approval is based on composite windows being allowed under the upcoming new guidelines.

A motion was made by Debbie Purves to approve with staff recommendations. The motion was seconded by Aaron Kovac. All approved.

6. OTHER BUSINESS

- 5. Enforcement Report
There was nothing to report.
- 6. Staff Report
There were no new reports from the Staff.
- 7. Next meeting DATE
- 1. Next meeting September 12, 2024

7. ADJOURN

A motion was made by Debbie Purves to adjourn. The motion was seconded by Linda Lanz. All Approved.

The meeting adjourned at 4:46 p.m.

Rush Denson, Chair

Linda Lanz, Secretary

City of Opelika
Historic Preservation Commission
Staff Report



Agenda Item #: 1
Meeting Date: 09/12/2024
Action Requested: COA: Extend Two Driveways
Location of Property: **501 N. 8th St; Northside Historic District**
Petitioner: Ed & Jane Ann Fleming

Resources:

Circa 1925. One story, wood frame bungalow with hip roof of asphalt shingles, exposed rafters under eaves, trip dormer with window band, off centered double leaf wood and plate glass doors, flanking vertical eight pane window bands with horizontal window band over verticals, short double colonettes on brick bases, closed rail balustrade. Contributing resource.

Proposal: The petitioner requests a COA for the following:

1. Enlarge both front and side driveway, to accommodate vehicles parking side by side and to avoid blocking sidewalks and street parking.
2. Replace front walkway with new concrete. Location and size will not change. Repour walkway to rear yard.

Guidelines:

A. THE ENVIRONMENT:

1. The environment consists of all exterior features in the designated historic districts which are visible to the public and includes structures, outbuildings, landscaping, streets, appurtenances, trees, mass and spacing between structures, scale, mass, color and materials of buildings that give a neighborhood its distinguishing character and contributes to its historic district designation.
2. Significant landscape features such as public parks and gardens, street lighting, signs, street benches, sidewalks, streets, alleys and building setbacks that have traditionally been maintained in the historic district and that contribute to its historic character should be retained. Existing streets should not be widened. paving material should not be changed to a different texture and color. Inappropriate new streets or parking lots incompatible with the neighborhood should not be constructed. (updated 08/12/14)
3. New plant materials, fencing, walkways, housing and other outdoor lights, signs, benches, etc. should be compatible with the character of the neighborhood in size, scale, material and color.
4. Plant material should be maintained so as not to become a hazard to the public, public property or shall not be allowed to cause deterioration to structures.

5. Existing street trees should not be removed without supporting documentation and a plan for replacement. Trees located in the city right of way cannot be removed without city approval (*updated 09/09/22*)

The following items DO NOT require a COA:

- Back yard Tree house, swing sets and trampolines
- Benches and other outdoor furniture and accessories
- Sculpture and another outdoor artwork
- Pools and patios
- Tree pruning, clearing of overgrown bushes, vines, saplings, etc.
- Tree removal (less than 4" diameter at breast height or diseased).
- Planting new trees, shrubs, ground cover, etc.
- Landscape edging
- Flower, vegetable and rock gardens
- Flowerpots, planters, window boxes, birdbaths, bird houses, etc.
- Adding gravel to existing driveways
- Patching deteriorated concrete or asphalt pavement, walks, steps, etc.

The following commonly requested projects require a COA:

- Changes to stone walls and other historic site features
- **New or expanded parking areas/lots**
- New and expanded driveways and walkways
- Staff approval for change of materials (i.e. gravel to concrete)
- Staff approval for tree removal with supporting documentation from a Certified Arborist that the tree is either dead, in severe decline, and/or possess a high risk of failure. Trees to be reviewed by the City Arborist. A tree replacement plan must be provided. (*Updated 09/09/22*)

Photo's:



Existing front drive and curb cut



Existing side drive



Existing walkway to house



New drive superimposed over old side drive

Sample drives in Northside Historic District:



Address unknown (possibly non-contributing structure



Severin-601 N. 8th St



Gaberlavage-512 N. 8th St

Staff recommendation:

1. Staff recognizes that wider drives are in the Northside Historic District but are out of character for the neighborhood. Staff recommends front drive and curb cut be no larger than 14ft in width with a 12ft drive. Drives should be tapered at base of sidewalk. Plantings should be installed on left side property boundary for screening.
2. Staff recommends side drive remain a single width of no more than 10ft for drive and curb. Staff recommends approval of additional depth to 18ft to avoid blocking sidewalk. Drives should be tapered at base of sidewalk. Plantings should be installed on right property boundary for screening.
3. Staff recommends approval of new concrete for both front walkway and sidewalk to rear yard to match existing footprint in size.

City of Opelika
Historic Preservation Commission
Staff Report



Agenda Item #: 2
Meeting Date: 09/12/2024
Action Requested: Paint Brick Facade
Location of Property: 223 S. 8th St; Downtown Historic District
Petitioner: Michelle Key/Key Media

Resources:

Circa 1909-1924. Downtown Barbershop/Top Hat Hearth Shoppe. One story brick load bearing wall construction with completely altered façade; aluminum and glass storefront.

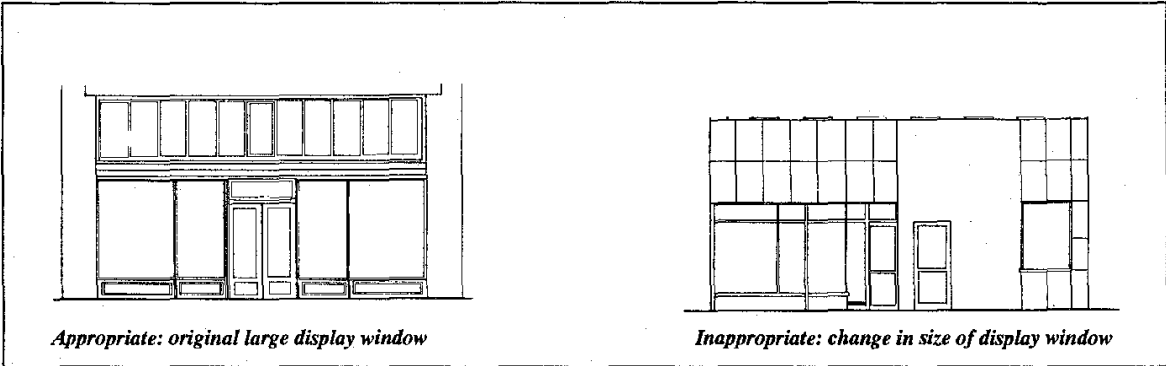
Proposal: The petitioner requests a COA for the following:

1. Paint new brick installed during 2021 renovation to create a more cohesive appearance to the front of the building. The new lighter paint will be more attractive, and signage will be more visible.

Proposed Guidelines:

STOREFRONT - #2.

Preserve existing historic storefronts. Retain characteristic storefront features.
DISPLAY WINDOW: Maintain the original dimensions and transparent nature of the display window. Do not add small paned windows or reflective glass.



COLUMNS: Maintain cast iron columns and brick and stone piers which frame the storefront.

MASONRY - #15.

Original masonry including brick, stone, terra cotta, and stucco walls and details should be preserved and maintained.

CLEANING: Cleaning of masonry should be done by the gentlest means possible. Never sandblast a masonry building. Do a test patch prior to undertaking any cleaning method. Once painted, it is often better to repaint rather than remove paint. Carefully investigate the condition of masonry before removing stucco. (See Preservation Brief #1, 6, 7) In almost all cases, unpainted masonry should not be painted.

The painting of unpainted brick should only be considered under the following circumstances:

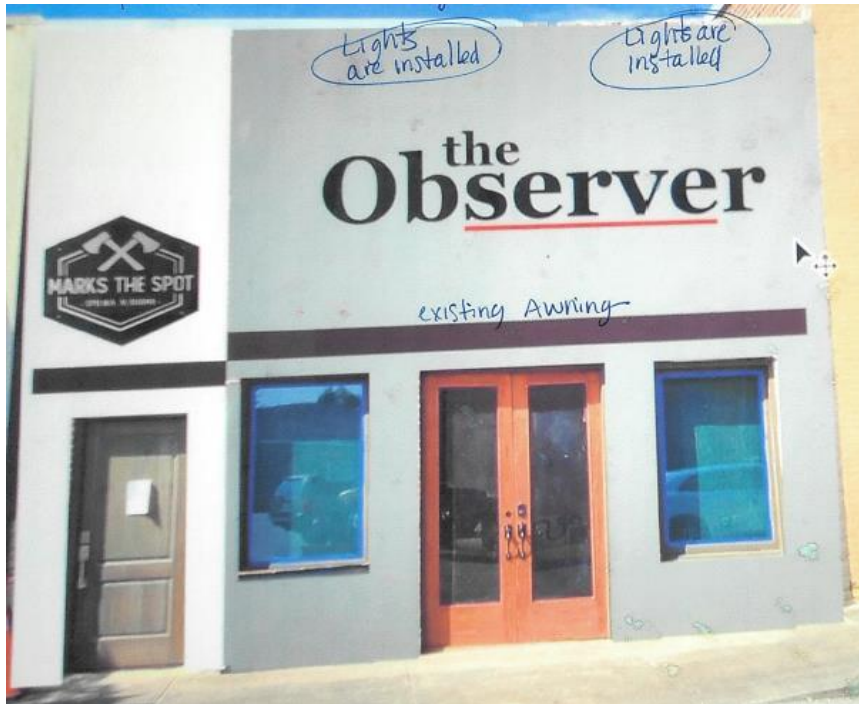
1. The masonry is not historic, nor is likely to become contributing in the future.
2. The brick is soft brick or porous historic brick that was intended to be sealed. Most known brick in Opelika's historic districts have more modern bricks.
3. A majority of the existing structure's masonry is already painted.
4. Masonry at ground level or below needs to be waterproofed to exclude ground water.
5. The structure has been extensively damaged by fire, natural disaster, or pre-existing alterations that the masonry no longer conveys the buildings historic character. This should not include major additions or changes that show the historic evolution of a building. (rev. 01/19/2022)

REPAIRING: Waterproofing sealants should not be used on masonry, unless they are vapor permeable. Repairs should match the historic masonry in size, shape, texture, and color. Repointing of existing masonry should incorporate the same mortar mix, tooling, and color as the historic masonry pointing. (See Preservation Brief #2)

Photo's:



2021 remodel-front material removed and brick was not behind it. Applicant installed new brick above and around the doors and windows.



New colors with painted brick giving the building a more cohesive look.

Staff recommendation:

1. Staff recommends approval to paint brick around windows and doors.

City of Opelika
Historic Preservation Commission
Staff Report



Agenda Item #: 3
Meeting Date: 09/12/2024
Action Requested: COA: Demolition
Location of Property: 13 N. 8th St; Downtown Historic District
Petitioner: SMBEasy, LLC

Resources:

7 N. 8th Street. After 1924; two-story brick load-bearing walls; denticulated belt coursing on second level original façade. First level has new brick facing; new glass and wood frame windows. Contributing structure.

11 N. 8th Street. After 1924; one story, brick loadbearing wall on north side; painted metal panel covers entire west façade of building. Glass and metal frames at pedestrian level. Noncontributing building.

Proposal: The petitioner requests a COA for the following:

1. Demo of remainder of the Stone Martin Building which was severely damaged by a fire and the subsequent fire-fighting activities. The fire resulted in the complete destruction of approximately half of the structure (units 3 & 4), while the remaining portion of the building (units 1 & 2) are still partially intact but are structurally unsound and uninhabitable due to heavy fire, smoke, and water damage from the fire and the ensuing 8+ hour effort to contain the fire.
2. Provided engineering reports prepared by Tucker Jones Engineers, W&A Engineering, and Rimkus all have concluded that the walls and remaining structure is structurally unsound and would be uneconomical to repair. The cost to restore the building to safe and usable condition far exceeds the economics of demolishing and constructing a new building on the site.
3. A comprehensive plan to redevelop the site is being established. Upon demo, site will be graded and grassed in a manner that will allow the city to continue using the space for public events until a formal reconstruction plan is approved and re-construction commences.

Guidelines:

H. DEMOLITION:

1. Definition: The tearing down of a building by active means or by neglect resulting in the structural decay of the original building fabric. Neglect means not maintaining a weatherproof, watertight, secure building, structurally stable and/or maintaining vegetation around the structure or structures on the property.

2. Since the purpose of historic zoning is to protect historic properties, the demolition of a building which contributes historically or architecturally to the character and significance of the district is inappropriate and shall be avoided. This means demolition by active means or by neglect in failure to maintain a property. This also includes any structure that contributes to the architectural character of the historic district, not just the most outstanding architectural structures in the district, but the ordinary period structures as well.
3. Demolition is inappropriate:
 - a. if a building is of such architectural or historical interest and value that its removal would be detrimental to the public interest.
 - b. if a building is listed as contributing to the architectural character of the district.
 - c. if a building is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.
 - d. if its proposed replacement would make a less positive visual contribution to the district, would disrupt the character of the district or would be visually incompatible.

Photo's:







Staff recommendation:

1. Staff recommends approval of demolition of both contributing and noncontributing structure due to severe fire damage and being structurally unsound as determined by engineers. Site to be graded and grassed upon removal of debris.
2. Applicant to return with full plans for replacement building including detailed specs, site, parking, and landscape plan.

City of Opelika
Historic Preservation Commission
Staff Report



Agenda Item #: 4
Meeting Date: 09/12/2024
Action Requested: COA: Brick and Wood Fence
Location of Property: 615 3rd Ave; Northside Historic District
Petitioner: Jim Akin

Resources:

Circa 1950. One and half story, brick Colonial Revival with cross gable roof of asphalt shingles, two gabled dormers, interior chimney, off center wood door, flanking 6/6 double hung sash windows, partial width porch with shed roof and decorative iron porch supports. Contributing resources.

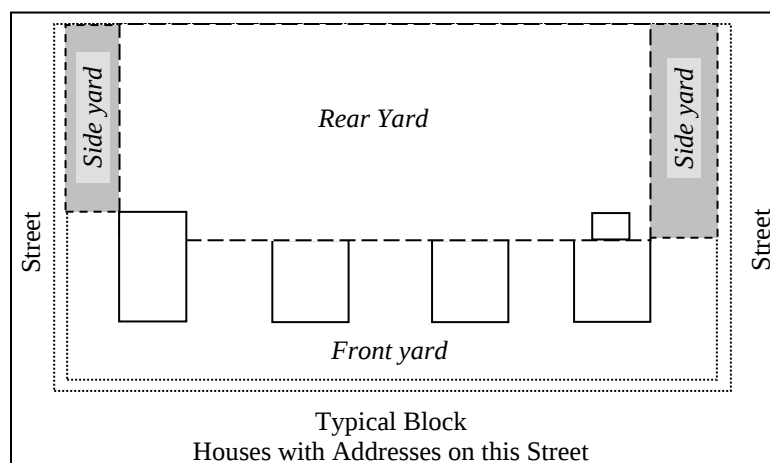
Proposal: The petitioner requests a COA for the following:

1. Construct brick and wood fence at property line along 7th Street and on opposing property line bordering neighboring property. Sliding gate will be a motorized metal fencing with a scallop edge to match wood fencing. The motor will be installed inside and not visible.
2. Install new black chain-link fence across back property line. Replace existing courtyard picket fencing with proposed picket design and add access gate identical to 7th Street.

Guidelines:

10. Appurtenances:

- a. Appurtenances related to a building (fences, walls, outdoor lighting, steps, paving, sidewalks and signs) should be visually compatible with the environment to which they are related.
- b. Fences:
The size, scale, and transparent quality of the fence shall be considered in the design to minimize the impact on the historic fabric on the neighborhood. The orientation and location of the fence shall also be considered, with the structural members located on the interior of the fence (pretty side out) and the location and size such that it does not block views of the buildings from the street.



Front, side and rear yard area will be determined on a case-by-case basis from a site plan showing the footprint of house and proposed fence, due to the variety of lot and building shapes. Generally speaking, the front yard is the portion of lot between the street and the rear edge of the building; the side yard is the portion of lot behind the house, between the sidewalk and the rear corner of the building, on corner lots; and the rear yard is the portion of lot behind house. Staff approval may be granted for fences that clearly fall within the guideline specifications; particularly those pertaining to staff permissible-materials and fence heights.

1. Low retaining walls in front and side yards should be kept where they exist. If new retaining walls are required, they should match the existing or match a documented example correct for the period of the structure.
 2. Existing period fencing should be maintained and repaired. Where necessary to replace period fencing, it should be replaced with compatible fencing of the same material, size and appropriate design.
 3. Materials:
Where a fence is desired to be installed, it should be appropriate for the period and architectural style of the structure. Materials and size of the fence should be documented as correct for the period of the structure.
 - i. Appropriate materials: wood, iron, wire, stone or plants.
 - ii. Inappropriate materials: chain link, concrete block, unfaced concrete, plastic, fiberglass, plywood, slatted "snow" fences and mesh "construction" fences
 - iii. Chain link fences may be used in rear yards, if visible from the street, shall be camouflaged with vegetation.
 - iv. Staff approved fences are limited to wood dog ear and open gothic fences as pictured below. Other styles or materials require formal Commission approval.
 4. Heights:
Generally, low fences should be used at the fronts and visible street side yards near public sidewalks. Taller fences and solid walls may be used in rear yards and side yards when set back from the sidewalk.
 - i. front yard fences should not be taller than 4 feet. A height of up to 6 feet is permitted only if set back at least 1/3 the structure's length or 1/3 the adjacent structure's length, whichever is furthest from the street. Measurement should be taken from the structures' respective facades.
 - ii. side yard fences should not be taller than 6 feet
 - iii. rear yard fences should not be taller than 8 feet
- Requests for new fences must have a site plan, with proposed fence heights clearly marked.

The following items DO NOT require a COA:

- Repairs to existing walls and fences and other historic site features
- Wood dog ear and wood open gothic fences that clearly fall within the setback and height requirements (staff approval)

The following commonly requested projects require a COA:

- Changes to stone walls and other historic site features
- All new fences and walls

Photo's:



N. 7th St elevation



Opposing property line (neighboring property)



Existing chain link on rear



Rear property line



Proposed brick and wood fence with carriage lanterns, capped by architrave, frieze and cornice, and topped with asphalt shingles ~8'-9' in height.



Simulated gate detail based on prototype



**Actual fence and entry on Wynton Rd.
Near historic Overlook S/D, Columbus, GA**

Other similar, existing gate examples (all Columbus, GA):



Broadway - Historic District



Wynnton Road/Overlook



Broadway District



Broadway District



12th Street – downtown



Historic Overlook Subdivision



**Replace existing picket fencing with prototype wood panels, adding gate access
Anchored with 4x4 pressure treated wood posts-similar gate design as side yard gate.**



Prototype fencing

- Wood is 8' panels with scalloped picket design, 2"x2" with max height of 42"-beveled crown.

Existing brick on house



Proposed brick for fence



- Brick knee wall 18"; columns 6'; gate entry 8-9'

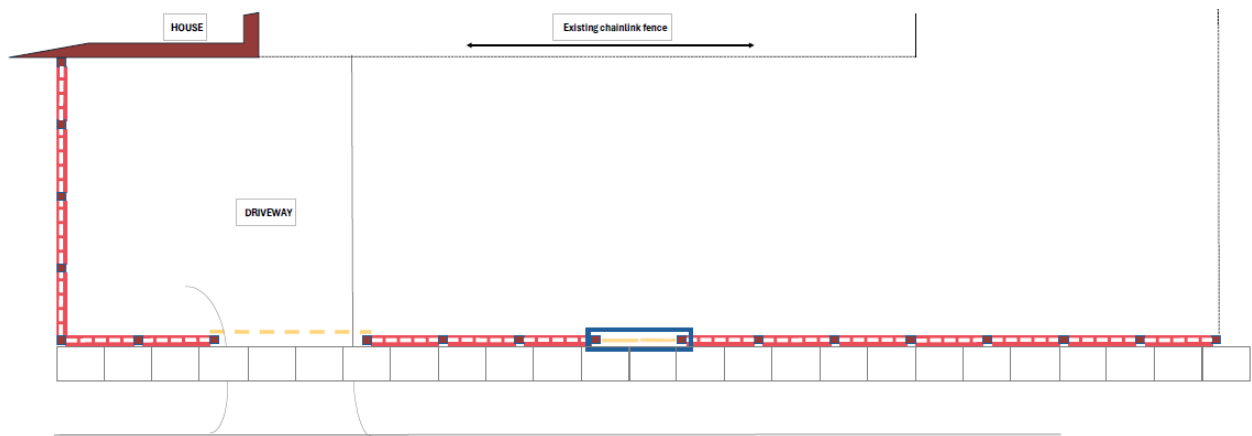


Diagram of fencing corner of 3rd Ave and N. 7th Street

Examples in Northside Historic District:



208 N. 8th Street



414 N 9th Street



500 N. 8th Street



414 N. 8th Street



314 N. 9th Street

Staff recommendation:

1. Staff recommend approval of brick and wood fencing along 7th Street not to exceed 6ft in height and should allow visibility between vertical members.
2. Staff recommend approval of black chain link fencing along rear property not to exceed 5ft in height. Fence must be camouflaged with vegetation.
3. Staff recommends wood picket fence on left front not to exceed 4ft in height.

City of Opelika
Historic Preservation Commission
Staff Report



Agenda Item #: 5
Meeting Date: 09/12/2024
Action Requested: COA: New Construction
Location of Property: 300 S. 7th St; Downtown Historic District
Petitioner: Stone Ray & Andrew Palmer

Resources:

Vacant lot at the corner of S. 7th Street and Ave C

Proposal: The petitioner requests a COA for the following:

1. New construction residential townhome development consisting of twenty (20) brick two (2) and three (3) bedroom townhomes in an urban format. Components include knotty alder wood doors, Anderson 100 Series Fibrex windows, black light fixtures, and asphalt shingles. Side elevations are all brick with second floor windows. All parking is hidden in the rear of the project.

Proposed Guidelines:

STANDARD #3: Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

Guidelines which address issues concerning New Construction, Relocation, Additions, and Demolition are extremely important. The intent of historic district zoning is not to freeze an area in time, but rather to encourage new, complementary buildings on vacant sites on the Main Street.

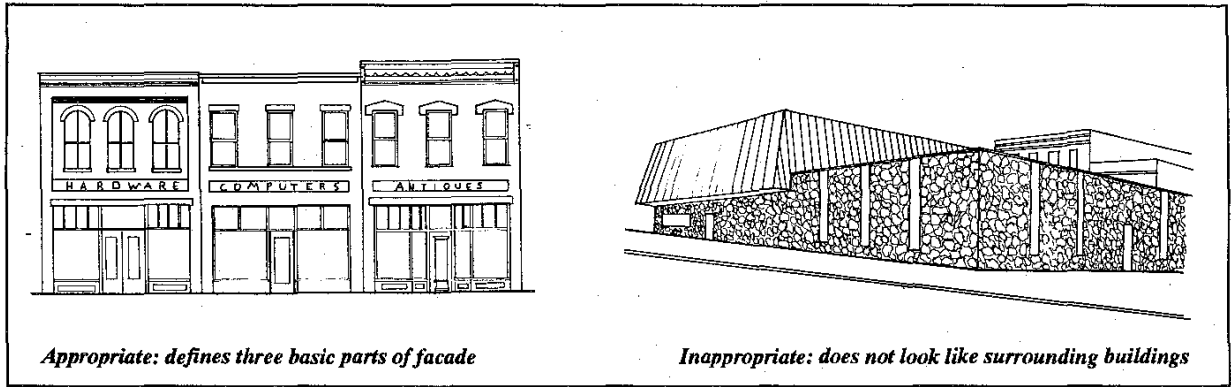
NEW CONSTRUCTION

Opelika has several vacancies located within a block of commercial buildings. This configuration has been described as looking like a missing tooth. Open space that adjoins the street should be developed in scale, use, and character with the neighborhood. New designs, which express changing tastes and needs, tell the on—going story of a downtown’s evolution. New designs should not attempt to create a false “historic” appearance. New designs are evaluated in terms of how well they relate to neighboring buildings’ composition, materials, size/scale, rhythm of openings, orientation/alignment, setback/site, style, and landscape.

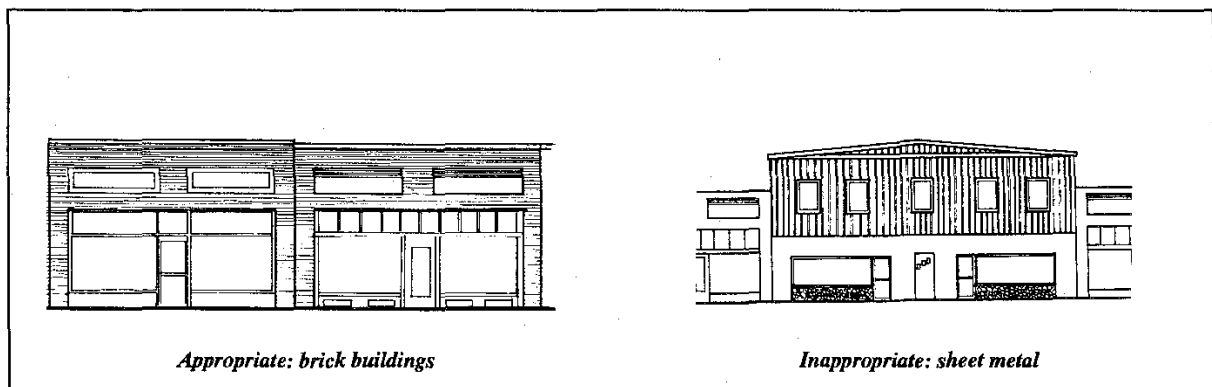
NEW CONSTRUCTION - #29.

New construction should be compatible with neighboring buildings.

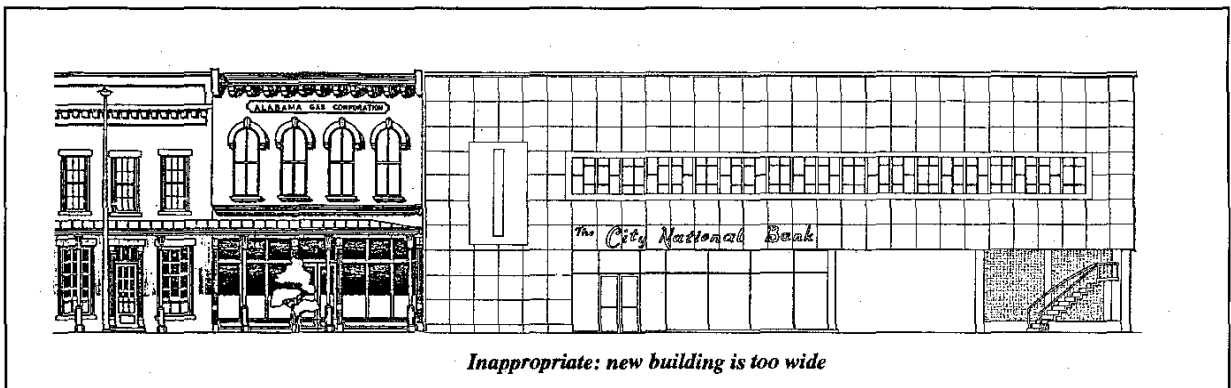
COMPOSITION: New buildings should define the three basic divisions of a commercial facade: a top which is typically a flat roof with a parapet and decorative cornice; a middle area defined by the upper story windows which are vertical and regularly placed; and a bottom which is transparent and has the elements of a storefront, including a bulkhead, a display window, and a transom.



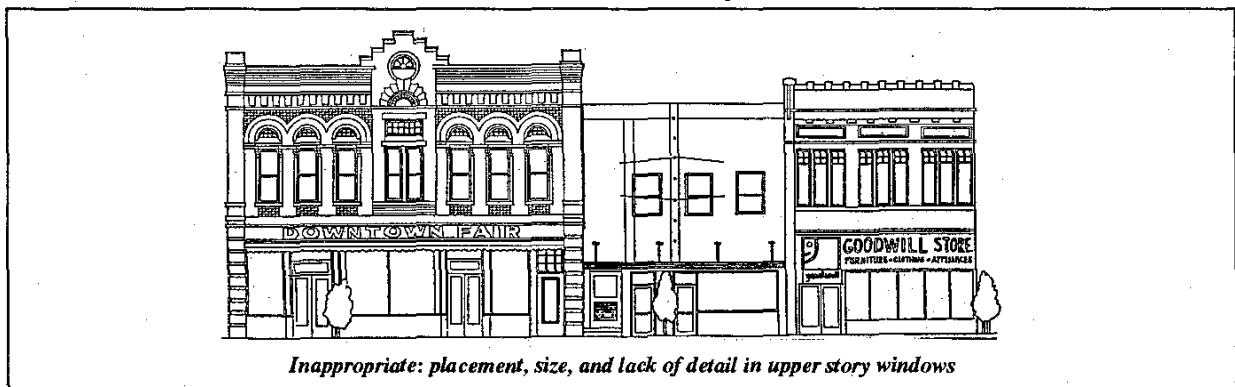
MATERIALS: New materials should relate to the historic materials in terms of texture, scale, color, and composition. New buildings should utilize the same materials as those on existing historic structures. Masonry, particularly brick, is an appropriate material. Inappropriate materials are plywood, composition panel, plastic, imitation brick or stone, vinyl or synthetic siding, sheet metal, and stone veneer. Neither stucco nor concrete block impart the same scale or texture as brick.



SIZE / SCALE: New buildings should be in scale with existing buildings. This means that they should not be appreciably taller, shorter, wider, or narrower than the buildings adjacent to them. Multi-story buildings should have a vertical emphasis, meaning that they should be taller than they are wide. The scale of key elements and details should refer to nearby buildings.

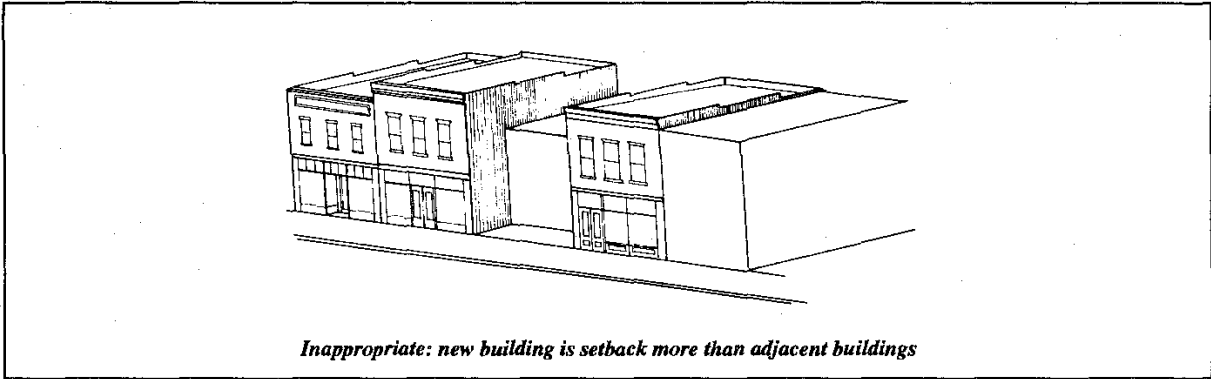


RHYTHM OF OPENINGS: The design, scale, and placement of openings in buildings, which provide a visual rhythm along the street, should be continued. Walls should be divided into bays by windows. New construction should avoid creating long unrelieved expanses of wall along the street. Window openings should be vertically proportioned and placed symmetrically on the facade. They should be slightly recessed back from the surface. Windows should be defined by sills, lintels, or decorative surrounds.



ORIENTATION / ALIGNMENT: Orientation of new construction should match that of existing adjacent buildings. Facades should face the same direction as those of neighboring buildings. The similar heights of buildings are emphasized by the alignment of cornices and/or horizontal bands of second story windows. New construction should continue the visual continuity of horizontal elements.

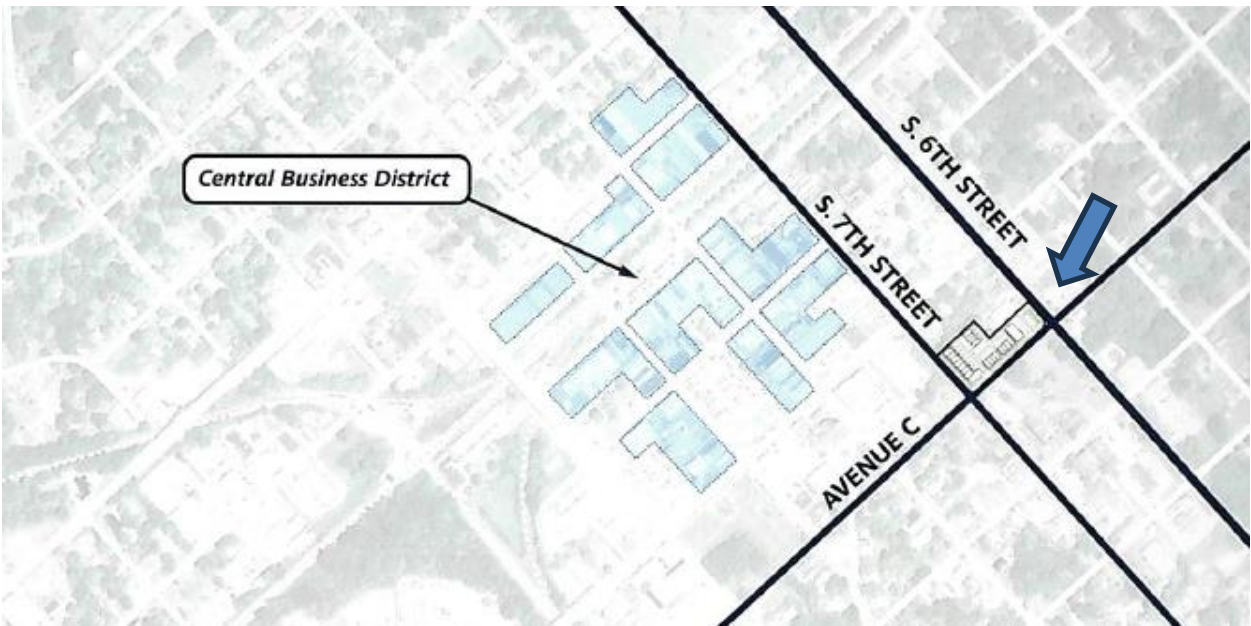
SETBACK / SPACING: New buildings should conform with adjacent or surrounding buildings in terms of their setback and the spacing between buildings. Historically, blocks of commercial buildings directly fronting the sidewalk are attached to each other, sharing a party wall. New buildings should create a continuously walled complex that holds the lines of the streets. Generally, avoid buildings designed as free-standing objects.



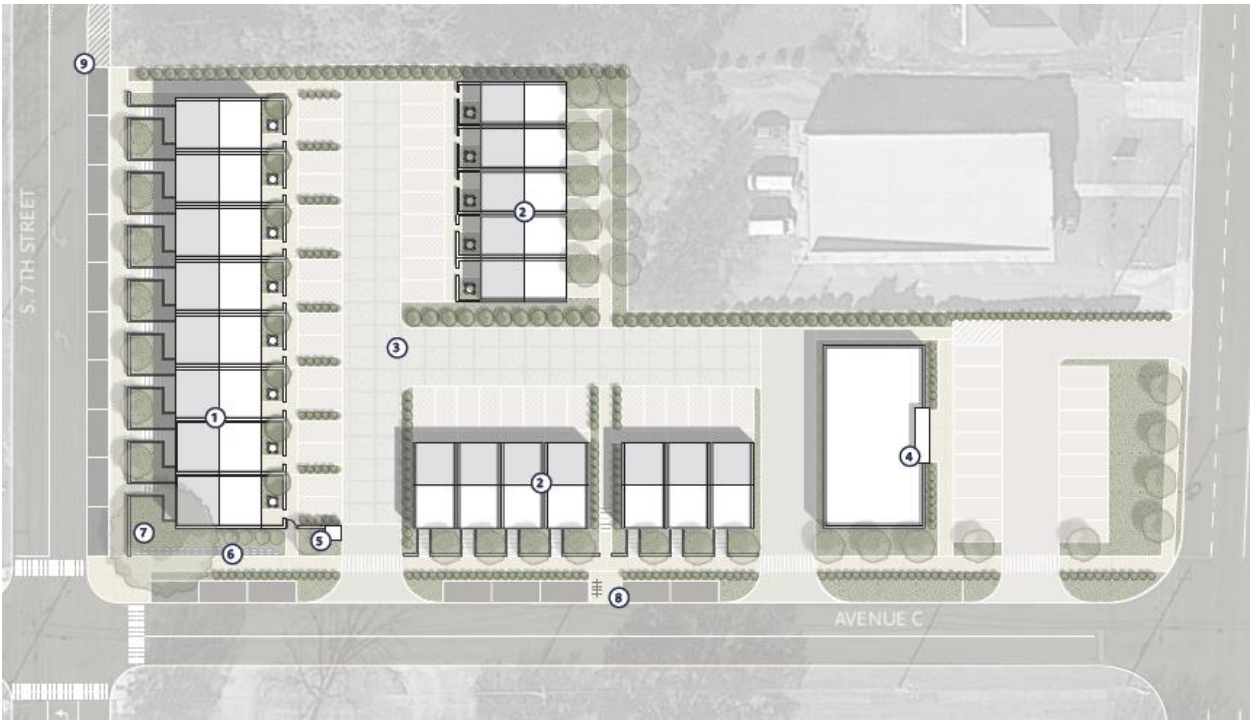
STYLE: The design of new buildings should complement existing historical architecture rather than attempt to imitate it. The new construction should be distinguishable from the old so that the evolution of the Main Street district can be visually read. New designs should creatively draw on the important characteristics of existing buildings.

LANDSCAPE: Site planning should respect the precedents set by other buildings in the block. In areas where many trees form a bower across the streets, new plantings should be planned to achieve a similar effect. For walls, fences, and paving, use materials consistently found in the district. (refer to Design Guideline #22)

Photo's:



Site located walking distance to downtown



Site Plan



Row facing S. 7th Street-elevation drops approximately 8 inches per unit due to slope of the land.

SITE PLAN FEATURES

- 1. 22' Rowhouses
- 2. 18' Rowhouses
- 3. Gravel Parking Aisles
- 4. Existing Commercial Building
- 5. Branding Signage & Parking Screen Wall
- 6. Existing Historic Rock Wall
- 7. Existing Historic Tree
- 8. Potential Avenue C improvements
- 9. Proposed 7th ST Restriping

BUILDING FEATURES

- 1. Vertically Oriented Buildings
- 2. Urban Composition to The Street
- 3. Raised Residential Entry & Private Stoop
- 4. Brick Facade
- 5. Vertical Separation
- 6. Vertically Oriented Doors & Windows
- 7. Appropriate Building Scale
- 8. Doors & Windows Set Back from Facade
- 9. Soldier Course Window headers
- 10. Transom Window Above Door



18' Rowhouse Elevation



22' Rowhouse Elevation



HENRY COLLECTION
Bayou Blend



HENRY COLLECTION
Cedar Creek



COLUMBUS COLLECTION
Annandale

Brick selection



ROOF SHINGLE
No. 1



ROOF SHINGLE
No. 2



ROOF SHINGLE
No. 3



ROOF SHINGLE
No. 4

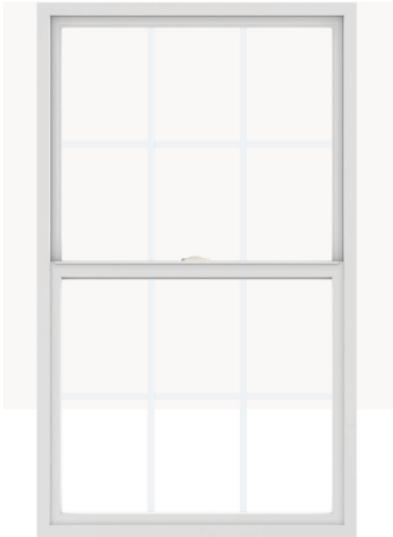
Roofing selection



Knotty Alder wood door



Black light fixtures



Anderson 100 Series Fibrex Window
White Color & Colonial Grid

ENVIRONMENTALLY RESPONSIBLE

Our exclusive Andersen® Fibrex composite material is composed of **40% reclaimed wood fiber by weight**, most of which is reclaimed from the manufacturing of Andersen wood windows.

FULL DIVIDED LIGHT

Permanently applied to the interior and exterior of your window with a spacer between the glass for an authentic look.



Permanent exterior
Permanent interior with spacer

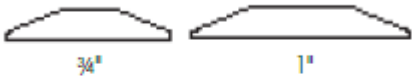
SIMULATED DIVIDED LIGHT

Permanent grilles on the exterior and interior with no spacer between the glass.



Permanent exterior
Permanent interior

Grille Bar Widths



Grille width for windows is 3/4".
Grille width for patio doors is 1".
A 2 1/4" simulated meeting rail is available for casement windows to replicate the look of single-hung windows.
Actual size shown.

Staff recommendation:

1. Staff recommend approval of new townhomes meeting material, size/scale, setback, and orientation guidelines. Windows should be full divided light (FDL) or simulated divided light (SDL).
2. Staff recommend approval of concrete aprons and gravel parking.
3. Construction of retaining walls and signage will need to be presented and approved prior to installation.
4. Trees larger than 6" in diameter will need prior approval before removal and a tree replacement plan.
5. Approval is contingent on approval of the Planning Department for landscaping, parking, zoning, and setbacks.