



**CITY OF OPELIKA
PLANNING COMMISSION
REGULAR MEETING AGENDA**

300 Martin Luther King Blvd.

October 22, 2024

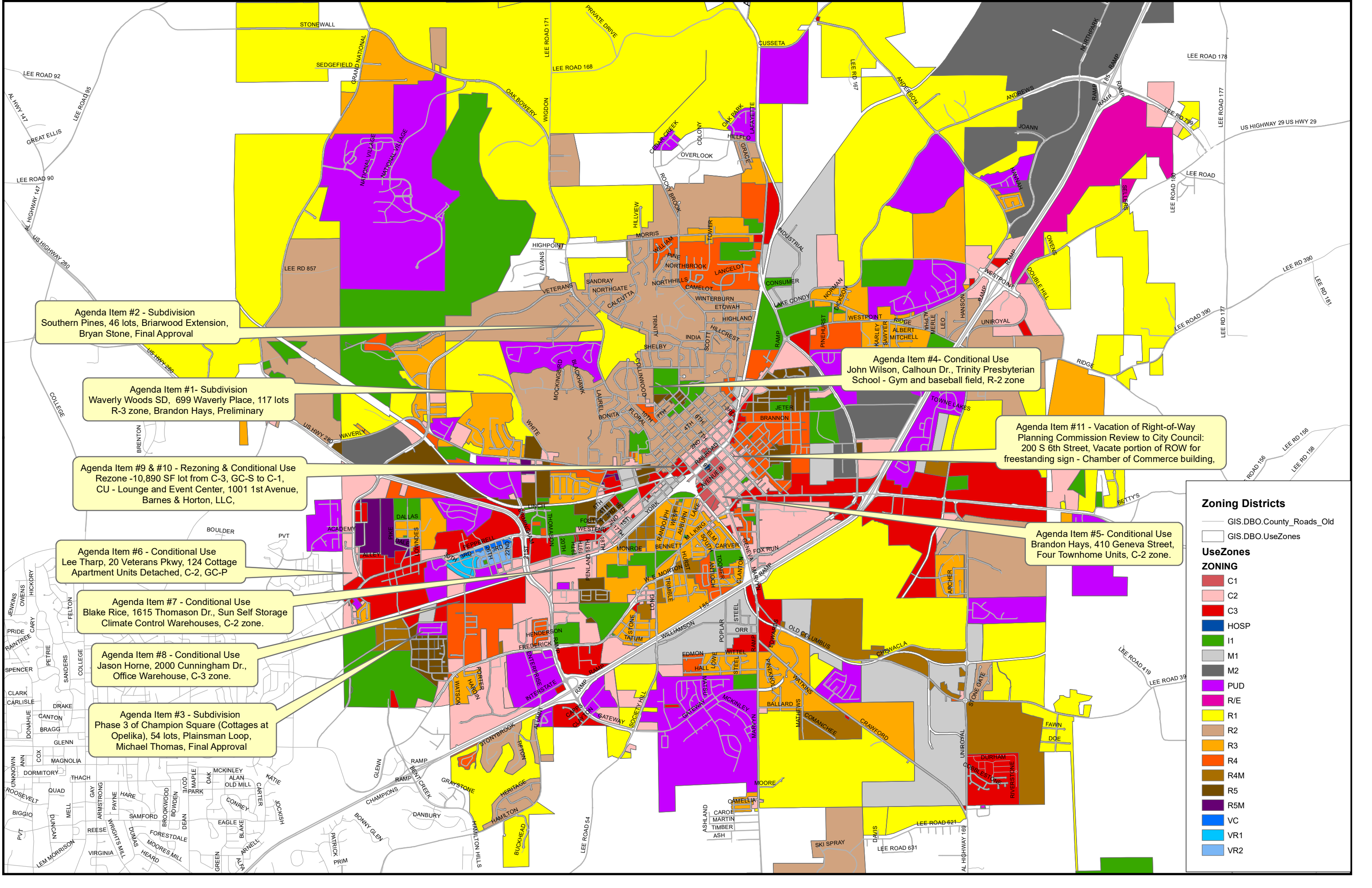
TIME: 3:00 PM

- I. WELCOME - Some items at this meeting will have a designated public hearing (noted below). Individuals are limited to one 5-minute comment period per public hearing.
- II. APPROVAL OF MINUTES
- III. UPDATE ON PREVIOUS PC CASES
- IV. NEW BUSINESS
 - A. **PLAT (Preliminary) - Public Hearing**
 1. Waverly Woods SD, 117 lots, accessed from 699 Waverly Place, Brandon Hays, authorized representative for Whiteridge Opelika LLC, preliminary approval
 - B. **FINAL PLAT**
 2. Southern Pines SD, 46 lots, accessed from Briarwood Lane extension, David Slocum authorized representative for Bryan Stone, final approval
 3. Champion Square SD, Phase 3, 54 lots, accessed from Plainsman Loop, Michael Thomas, Sain Associates, authorized representative for Patrick Murphy, preliminary approval
 - C. **CONDITIONAL USE - Public Hearing**
 4. John Randall Wilson, authorized representative for Trinity Presbyterian Church, accessed at Calhoun Drive, McLure Avenue and Renfro Avenue, R-2, Athletic field and gymnasium for Trinity Christian School
 5. Brandon Hays, authorized representative for Southside Opelika, LLC, C-2, accessed at 410 Geneva Street, 4 townhome units.
 6. Lee Tharp, Kadre Engineering, authorized representative for Terry McCollum, accessed at 20 Veterans Parkway, C-2, GC-P, 124 apartment units.
 7. Blake Rice, Barrett-Simpson, authorized representative for Sun Self Storage, Inc, C-2, accessed at 1615 Thomason Drive, climate control self storage buildings (Sun Self Storage).
 8. Jason Horne, Horne Brothers LLC, C-3, accessed at the 2000 block of Cunningham Drive, office-warehouse building.
 - D. **Rezoning and Conditional Use - Public Hearing**

9. (a) Amendment to the Future Land Use Map, 1001 1st Avenue, 10,890 square foot lot, from a general commercial land use category to a light commercial land use category.

(b) Rezoning Request, Josh O'Neal, authorized representative for Barnes & Horton, LLC, 10,890 square foot lot, at 1001 1st Avenue, from C-3, GC-S to C-1, GC-S.
10. Josh O'Neal, authorized representative for Barnes & Horton, LLC, C-1, GC-S (pending rezoning), at 1001 1st Avenue, lounge and event center.
- E. **VACATION OF RIGHT-OF-WAY - Public Hearing**
11. Petition to vacate a portion of right-of-way on 6th Street at the Chamber of Commerce building.

“In compliance with the Americans with Disabilities Act, the City of Opelika will make reasonable arrangements to ensure accessibility to this meeting. If you need special assistance to participate in this meeting, please contact the ADA Coordinator 72 hours prior to the meeting at (334)705-5130.”





PLANNING COMMISSION MINUTES

300 Martin Luther King Blvd.

September 24, 2024

TIME: 3:00 PM

- I. WELCOME - Some items at this meeting will have a designated public hearing (noted below). Individuals are limited to one 5-minute comment period per public hearing.

II. APPROVAL OF MINUTES

The City of Opelika Planning Commission held its regular monthly meeting September 24, 2024 in the Meeting Chambers, located at the Opelika Municipal Court. Certified letters have been mailed to all adjacent property owners for related issues.

MEMBERS PRESENT: Chair Lucinda Cannon, Mayor Gary Fuller, Dr. Arturo Menefee, Mrs. Leigh Whatley, Mr. Michael Hilyer, Mr. Jay Walters, Mr. Sheldon Whittelsey, and Mr. John Sweatman.

MEMBERS ABSENT: Councilman George Allen.

STAFF PRESENT: Mr. Matt Mosley, Planning Director
Mr. Martin Ogren, Assistant Planning Director
Mrs. Claire Barber, Planning and Zoning Technician
Mr. Scott Parker, City Engineer
Mr. Guy Gunter, City Attorney

CALL TO ORDER: Chair Lucinda Cannon called the meeting to order at 3:00 p.m.

Approval of Planning Commission Minutes August 27, 2024

RESULT:	Passed
MOVER:	Director John Sweatman
SECONDER:	Mayor Gary Fuller
AYES:	Chair Cannon, Walters, Whatley, Whittelsey, Hilyer, Menefee, Mayor Fuller, Director Sweatman
NAYS:	None
ABSTAIN:	None

III. UPDATE ON PREVIOUS PC CASES

Mr. Mosley stated that there are no updates on previous cases.

IV. NEW BUSINESS

A. **Conditional Use and Preliminary Plat - Public Hearing**

1. Hayes Eiford, authorized representative for AUO Investments LLC, accessed at 3417 Dale Avenue, R-5M and C-3, 50 townhome units.

Mr. Mosley presented the staff report to the Planning Commission for the proposed conditional use request for 50 townhome units accessed at 3417 Dale Avenue. He stated that staff recommends approval subject to the following conditions:

1. Relocate the rear lot lines of Lot 3 and Lot 4 so the minimum 20' rear yard setback is met.
2. All utilities shall be underground.
3. Provide a sidewalk along townhome lots that front on Dale Avenue, King Lake Road, and the private street (Road A, Road B). Extend sidewalk across outparcels (Lot 52, 53, 54) to connect to adjacent townhome groups: Connect sidewalks between Lot 42 and 43, between Lot 1 and King Lake Road, between Lot 10 and Lot 20, between Lot 12 and Lot 36, between Lot 32 and Lot 33, and between Lot 9 and 21.
4. On landscape plan add a "Residential Buffer" on the rear lot lines of Lot 48, 49 and 50 and the side lot line of Lot 50. Buffer options are in Section 10 Landscape Regulations.
5. Along the rear property line of townhome Lots 21 to 29, install a 6 foot opaque fence and plant a row of evergreen trees to provide a buffer between the townhomes and the adjacent mobile home park (King's Mobile Home Park).
6. Stagger each row of townhomes singularly or in pairs at least 3 feet so the townhomes don't appear as row houses.
7. Establish a Homeowner's Association and include maintenance requirements for the private street, outparcel lots, and the uses for the outparcels.
8. The townhome exterior material must be selected from the Gateway Corridor exterior material list in Section 7.6. (The exterior materials provided (stone and hardie board) in packet meets this requirement.)
9. If private dumpsters are used enclose dumpster on all sides and gate with opaque material.

Mr. Mosley stated that the applicant is requesting that the road be public instead of private. He stated that they would have to meet the minimum requirements per the Public Works Manual and Subdivision Regulations.

Mr. Parker provided the reports for the Engineering, Opelika Water, and Opelika Power Services. He stated that there is no water available on King Lake Road. Water is available on Dale Avenue. An 8-inch Main is available for connection and extension from Dale Avenue, Spring Drive, and/or Pepperell Parkway to feed the new development on King Lake Road.

Chair Cannon opened the public hearing.

No comments.

Chair Cannon closed the public hearing.

Motion to grant conditional use approval with staff recommendations

RESULT: Passed

MOVER: Director John Sweatman

SECONDER: Arturo Menefee

DISCUSSION: Mr. Hilyer asked about the lake and house near this property?

Mr. Mosley stated that staff has recommended a residential buffer along the

side of the townhouses on that side.

Mr. Whittelsey asked about the wetland area that the road goes through?

Hayes Eiford, applicant, stated that there is an existing stream going through this site that has already been delineated by Wildland Services, and it is already piped through that area.

Mr. Whittelsey asked if the right-of-way was wide enough?

Hayes Eiford stated that it is.

AYES: Chair Cannon, Walters, Whatley, Whittelsey, Hilyer, Menefee, Mayor Fuller, Director Sweatman

NAYS: None

ABSTAIN: None

2. King Lake Estate SD, 54 lots, accessed at 3417 Dale Avenue, Hayes Eiford, authorized representatives for AUO Investments LLC, preliminary approval

Mr. Mosley presented the staff report to the Planning Commission for the King Lake Estate Subdivision accessed at 3417 Dale Avenue. He stated that staff recommends preliminary plat approval subject to the following:

- 1. Add the street name on final plat.**
- 2. Add “50’ access and utility easement” on the private street.**
- 3. Sidewalks required along the townhome lots and extend sidewalks to connect with adjacent townhome groups.**
- 4. All utilities shall be underground.**
- 5. Label Lot 52, 53, and 54 as “Unbuildable Parcel, Preserved as Common Area” on final plat.**
- 6. Add a note on final plat providing the use, ownership, and maintenance for the three outparcel lots (Lots 52, 53, and 54).**
- 7. Add “Residential Buffer” on final plat on rear lot lines of Lot 48, 49 and 50 and the side lot line of Lot 50. Buffer options provided in Section 10 Landscape Regulations.**

Mr. Parker provided the reports for the Engineering, Opelika Water, and Opelika Power Services. He stated that the applicant will be required to submit a site construction and grading plan for the drainage, utility, post construction detention, and roadway installation to the Engineering and Public Works Departments for review and approval. Once this approval and all other utility approvals have been met, a Land Disturbance Permit will be issued in concurrence with any applicable State and Federal Permits.

The City will consider the vacation and closure of King Lake Road from the intersection of Blanton to Dale.

Engineering Department has no other comments or concerns with this proposed Preliminary Plat.

He stated that there is no water available on King Lake Road. Water is available on Dale Avenue. An 8-inch Main is available for connection and extension from Dale Avenue, Spring Drive, and/or Pepperell Parkway to feed the new development on King Lake Road.

Chair Cannon opened the public hearing.
No comments.
Chair Cannon closed the public hearing.

Motion to grant preliminary plat approval with staff recommendations

RESULT:	Passed
MOVER:	Director John Sweatman
SECONDER:	Mike Hilyer
DISCUSSION:	Chair Cannon asked about trees and landscaping? Hayes Eiford, applicant, stated that each lot will have a tree and that they are leaving a large portion of the site undisturbed, particularly the landscape buffer.
AYES:	Chair Cannon, Walters, Whatley, Whittelsey, Hilyer, Menefee, Mayor Fuller, Director Sweatman
NAYS:	None
ABSTAIN:	None

B. CONDITIONAL USE - Public Hearing

3. Blake Rice, Barrett-Simpson, authorized representative for Stephen & Shelby Ward, accessed at the 2700 block of Society Hill Road, C-2, 225 unit townhome rental development (Jim Chapman Communities).

Mr. Mosley presented the staff report to the Planning Commission for the proposed conditional use request for a 225 unit townhome rental development (Jim Chapman Communities) accessed at the 2700 block of Society Hill Road. He stated that staff recommends approval subject to the following:

1. Staff recommends extend the parking lot buffer near front property line to each side property line to connect with residential buffers.
2. Submit landscape plan add landscaping as required with minimum base points and parking lot points and added buffers are shown and met in detail required by the Landscape Ordinance.
3. If dumpsters are installed, dumpsters must be enclosed on all sides and gated with an opaque fence at a height so that the dumpster is not seen outside the enclosure.
4. Add on site plan who is responsible to maintain the creek buffer area and ponds.
5. All utilities shall be underground except overhead required transmission lines.
6. Townhome building ending in 140 and 139 are required to be 20 feet or more apart.
7. The OFD has requested the secondary access be built with this phase of development.
8. Any gate is required to be approved by the City of Opelika Fire Department.
9. Extend sidewalks to Society Hill Road.

Mr. Parker provided the reports for the Engineering, Opelika Water, and Opelika Power Services. He stated that the applicant will be required to submit a site construction and grading plan for the drainage, utility, post construction detention, and roadway installation to the Engineering and Public Works Departments for review and approval. Once this approval and all other utility approvals have been met, a Land Disturbance Permit will be issued in concurrence with any applicable State and Federal Permits.

It is anticipated that turn lanes will be required on Society Hill Road for this phase of development.

The Engineering Department has no other comments or concerns regarding this proposed conditional use.

He stated that water is available from a 16-inch main on Society Hill Road. He stated that this property is located inside Opelika Power Services and Alabama Power service territory.

Chair Cannon opened the public hearing.

No comments.

Chair Cannon closed the public hearing.

Motion to grant conditional use approval with staff recommendations

RESULT: Passed

MOVER: Arturo Menefee

SECONDER: Sheldon Whittelsey

DISCUSSION: Mr. Sweatman asked about the detention pond near I85?

Blake Rice, authorized representative, stated that there are two ponds that are detention ponds. He stated that the grayed out area is proposed to be left undisturbed as a buffer against I85.

Mr. Sweatman asked about the road that was stubbed out on the north side of the gas easement?

Blake Rice stated that it was not a stub out, it would be the location of one of the dumpster areas.

AYES: Chair Cannon, Walters, Whatley, Whittelsey, Hilyer, Menefee, Mayor Fuller, Director Sweatman

NAYS: None

ABSTAIN: None

C. FINAL PLAT

4. Laurel Lakes 1B SD, 69 lots, accessed from Como Way, Ontario Road, and Great Bear Road, Blake Rice, Barrett-Simpson, authorized representative for Fire Rock Development Company, LLC, final approval

Mr. Mosley presented the staff report to the Planning Commission for the Laurel Lakes 1B Subdivision accessed from Como Way, Ontario Road, and Great Bear Road. He stated that staff recommends final plat approval subject to the following:

- 1. Install underground utilities.**
- 2. Install sidewalks on both sides of all streets.**
- 3. Add a note on plat providing the minimum building setbacks: 20' front yard, 7' side yard, 25' rear yard, and 15' side on street (corner lots).**
- 4. Add a note providing the minimum lot standards concerning lot width.**
- 5. As provided on the master plan, preserve a 25-foot natural buffer on 'Lot 1001-B-1 Common Area' located adjacent to Lot 3-8. If a fence is proposed for Lot 3-8, then the fence must be installed on the rear property lines of these lots. The 25' buffer must be shown on the site plan for Lot 3-8 when building permit is requested.**
- 6. On final plat add the following note: The Laurel Lakes HOA is owner of Lots 1002-B-2 and 1002-B-1 as shown on the Laurel Lakes subdivision plat. These lots are reserved as stormwater detention for the subdivision and open space for the**

Laurel Lakes property owners. The Laurel Lakes HOA is responsible for the maintenance of all detention/open space on Lots 1002-B-2 and 1002-B-1. Provide access to Lot 1002-B-2.

7. Change Opelika Utilities to Opelika Water Board in the signature section.

Mr. Parker provided the reports for the Engineering, Opelika Water, and Opelika Power Services. He stated that the Engineering Department has been inspecting the construction and testing of the infrastructure in this subdivision. A Certification of Completion will be completed and signed by the Engineering and Public Works Directors as soon as all the infrastructure completion items below have been met and a positive recommendation for approval will be given:

- All drainage structures, aggregate base and pavement have been completed.
- All stop and roadway signs have been installed.
- Maintenance Bond of 25% of the infrastructure construction cost will need to be submitted.
- Performance Bond of 125% of the estimated cost to place the remaining roadway surface and sidewalks will need to be submitted.
- As-built documents of the roadway, and storm drain in the form of an Autocad and PDF digital file will need to be submitted to the Engineer Department. The required data should include location and elevations of all the inverts of the systems.
- The ROW and lots have been graded, and stabilized with seed and mulch, and other erosion/sediment control items have been added to protect against erosion and sediment issues.

The Engineering Department has no other comments or concerns with this proposed final plat request.

He stated that this subdivision addition is split territory between Opelika Power Services, Tallapoosa River Electric and Alabama Power.

Motion to grant final plat approval with staff recommendations

RESULT: Passed

MOVER: Director John Sweatman

SECONDER: Arturo Menefee

DISCUSSION: Chair Cannon asked about the landscaping?

Blake Rice, authorized representative, stated that there will be more than one tree per lot.

AYES: Chair Cannon, Walters, Whatley, Whittelsey, Hilyer, Menefee, Mayor Fuller, Director Sweatman

NAYS: None

ABSTAIN: None

V. OLD BUSINESS

D. CONDITIONAL USE - Public Hearing

5. Arthur R. Nettles, authorized representative for Dave King, King Automobiles, Inc, accessed at Dunlop Drive, C-3, GC-P Automobile sales. *(This item was tabled at the applicant's request at the August 27, 2024 Planning Commission meeting)*

Mr. Mosley stated that the applicant has requested that this item remain on the table.

6. Arthur R. Nettles, authorized representative for Dave King, King Automobiles, Inc, accessed at Dunlop Drive, C-3, GC-P, Automobile maintenance and parking. *(This item was tabled at the applicant's request at the August 27, 2024 Planning Commission meeting)*

Mr. Mosley stated that the applicant has requested that this item remain on the table.

E. Other Business

7. Approve dates for November and December PC meetings

Mr. Mosley stated that staff recommends the date of November 19, 2024 for the November Planning Commission meeting and December 17, 2024 for the December Planning Commission meeting.

Motion to move the November Planning Commission meeting to November 19, 2024 and move the December Planning Commission meeting to December 17, 2024.

RESULT:	Passed
MOVER:	Sheldon Whittelsey
SECONDER:	Mike Hilyer
AYES:	Chair Cannon, Walters, Whatley, Whittelsey, Hilyer, Menefee, Mayor Fuller, Director Sweatman
NAYS:	None
ABSTAIN:	None

VI. ADJOURN

Motion to adjourn at 3:31 p.m.

RESULT:	Passed
MOVER:	Director John Sweatman
SECONDER:	Mike Hilyer
AYES:	Chair Cannon, Walters, Whatley, Whittelsey, Hilyer, Menefee, Mayor Fuller, Director Sweatman
NAYS:	None
ABSTAIN:	None

Lucinda Cannon, Chair

Matt Mosley, Secretary

City of Opelika
Planning Commission
Planning Department Report

Meeting Date:	October 22, 2024
Subdivision:	Waverly Woods SD
Agenda Item #:	A-1
Action Requested:	Preliminary Approval
Location of Property:	Waverly Place
Property Owner(s):	R&S Properties, LLC Brandon Hays, authorized representative
Current Land Use:	Undeveloped
Current Zoning:	R-3

Proposal

The applicant is requesting preliminary plat approval for 117 single family home lots in a R-3 zoning district. The lots are accessed from an extension of an existing stub-out street that intersects Waverly Place; a second access to White Road is shown on the east side between Lot 110 and 117.

The total property area (lots and open space) is 70.4 acres. A portion of the property is in a floodplain so development is limited because of difficult elevations. Open space areas are adjacent to the rear property lines for all 117 lots. About 32.4 acres of 70 acres will remain undisturbed and unbuildable, and 38 acres will be developed. A note on the final plat should state that the open space area be preserved as an unbuildable common area.

The 117 lots meet the minimum 70 foot lot width and 10,000 sf lot size for the R-3 zoning district. The lot sizes range from 10,500 sf to 19,547 sf. All lots meet the minimum 70 foot lot width requirements.

The Subdivision Regulations limits block length to a maximum 1,200 feet. The limit to block length for street connectivity increases vehicle and pedestrian accesses to other areas and provides shorter travel distances to destinations. The plat shows a block length of about 2,260 feet from the intersection of Waverly Place & a stub-out street to the intersection shown at Lot 25 & Lot 47. Also, the block length is about 1,600 feet measuring from the intersection at Lot 48 and Lot 102 to the east cul de sac

at Lot 68 and Lot 71. For example, a 60' stub-out street on the green space between Lot 70 and 71 provides an opportunity for street connectivity from to an extension of Pheasant Avenue.

Staff recommends preliminary plat approval subject to the following:

1. Add the street name on final plat.
2. Sidewalks required on both sides of the street.
3. All utilities shall be underground.
4. Add 60 foot wide stub outs to two street sections so the street length do not exceed the 1,200 foot maximum.
5. Add the names and addresses of adjacent property owners on final plat.
6. Add on final plat the property owner name and address.
7. Add a note on final plat that the Open Space areas are "Unbuildable Parcel, Preserved as Common Area."
8. Add a note on final plat who is responsible for the maintenance of the Open Space areas.
9. On final plat add a note concerning the uses allowed on the Open Space area.

Engineering Department Report

The applicant will be required to submit a site construction and grading plan for the drainage, utility, post construction detention, and roadway installation to the Engineering and Public Works Departments for review and approval. Once this approval and all other utility approvals have been met, a Land Disturbance Permit will be issued in concurrence with any applicable State and Federal Permits.

- Construction of infrastructure and utilities will be monitored and approved prior to final plat acceptance.
- A traffic impact study will be required to determine the impact of this additional development at the intersection of Waverly Place and Waverly Parkway. Turn lanes may be required with this study.
- The portion of White Road from the intersection of this subdivision to Waverly Parkway will need to be upgraded to City standards and paved.
- The road names shall be approved by the Engineering Department and are to be placed on the final plat for the public roadways to be accepted.

The Engineering Department has no other comments or concerns with this proposed Preliminary Plat

Opelika Water Board Report

Water is available where “Road A” connects to Waverly Place and at property connection to White Road. This development will require connections to both Waverly Place and White Road water mains.

Opelika Power Services Report

This subdivision is in Opelika Power Services and Alabama Power service territory.



000396-2024

**APPLICATION FOR
SUBDIVISION APPROVAL
PLANNING DEPARTMENT
700 FOX TRAIL
OPELIKA, AL 36801**

PC DEADLINE: 10/01/24 PC MEETING: 10/22/24

SITE ADDRESS: 699 Waverly Place
PROPERTY OWNER: Whiteridge Opelika LLC / Wayne Gentry
APPLICANT/AUTHORIZED REPRESENTATIVE: Brandon Hays
MAILING ADDRESS: 1280 Moore's Mill Road, Suite 209
PHONE NUMBER: 205.568.0551 **FAX NUMBER:** _____
EMAIL ADDRESS: brandon@hartbrookdev.com

TYPE OF PLAT APPROVAL REQUESTED

☐ SKETCH PLAN ☐ ADMINISTRATIVE ☒ PRELIMINARY ☐ FINAL

Does the subdivision require any other official action by the City? N/A

☐ Annexation ☐ Rezoning ☐ Other _____

PARCEL INFORMATION

Subdivision Name: Waverly Woods Number of Lots: 117 x \$3.00 = \$351.00
Current Land Use: Undeveloped wooded site Number of APO: 63 x \$6.74 = \$424.62
(Adjacent Property Owners)
Current Zoning: R-3 Fee: \$75.00
Proposed use of the Subdivision: 117 proposed SF Detached Residential lots **TOTAL** = \$850.62
☒ Residential ☐ Commercial **PAID** _____
☐ Manufacturing/Industrial ☐ Office/Institutional

I, the undersigned, hereby request the Opelika Planning Commission review the Subdivision Plat for (name of subdivision) Waverly Woods Subdivision. I understand that I must provide certain information as noted in Section 4.2, Section 4.3, and/or Section 4.4 of the Opelika Subdivision Regulations in order for the Planning Commission to review my plans. The City may require additional information or requirements, or waive certain requirements, at any time during the process. Failure to provide accurate and complete information may result in disapproval by the Planning Department and/or Planning Commission. This application, plat, and all other information are submitted with the full authorization and knowledge of the property owner(s). The undersigned below hereby swears to be the authorized applicant designated by the property owner(s) as representative or agent for the property owner(s) and therefore authorized to make said application and submit said documents on this request. The undersigned authorizes the City to inspect the subject property as necessary in reviewing the above referenced request.

**OWNERS/AUTHORIZED
REPRESENTATIVE SIGNATURE:**

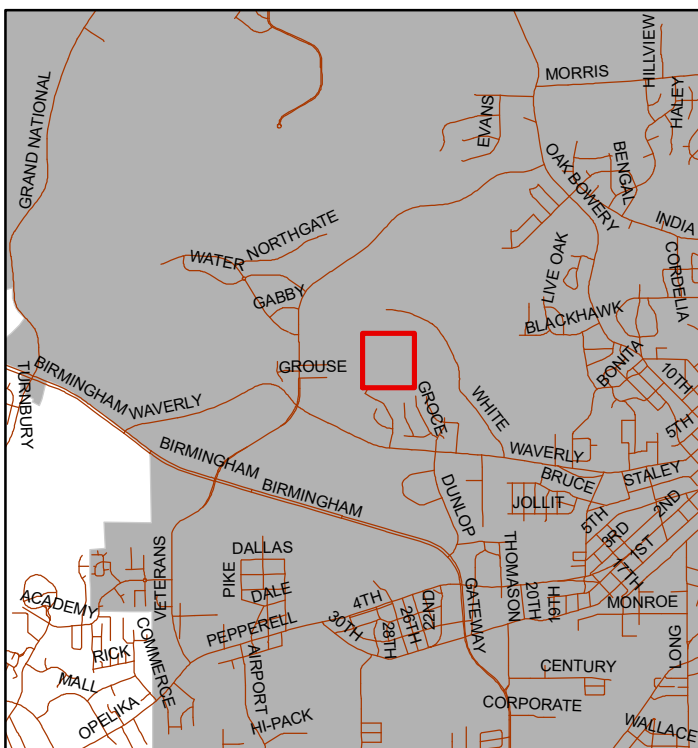
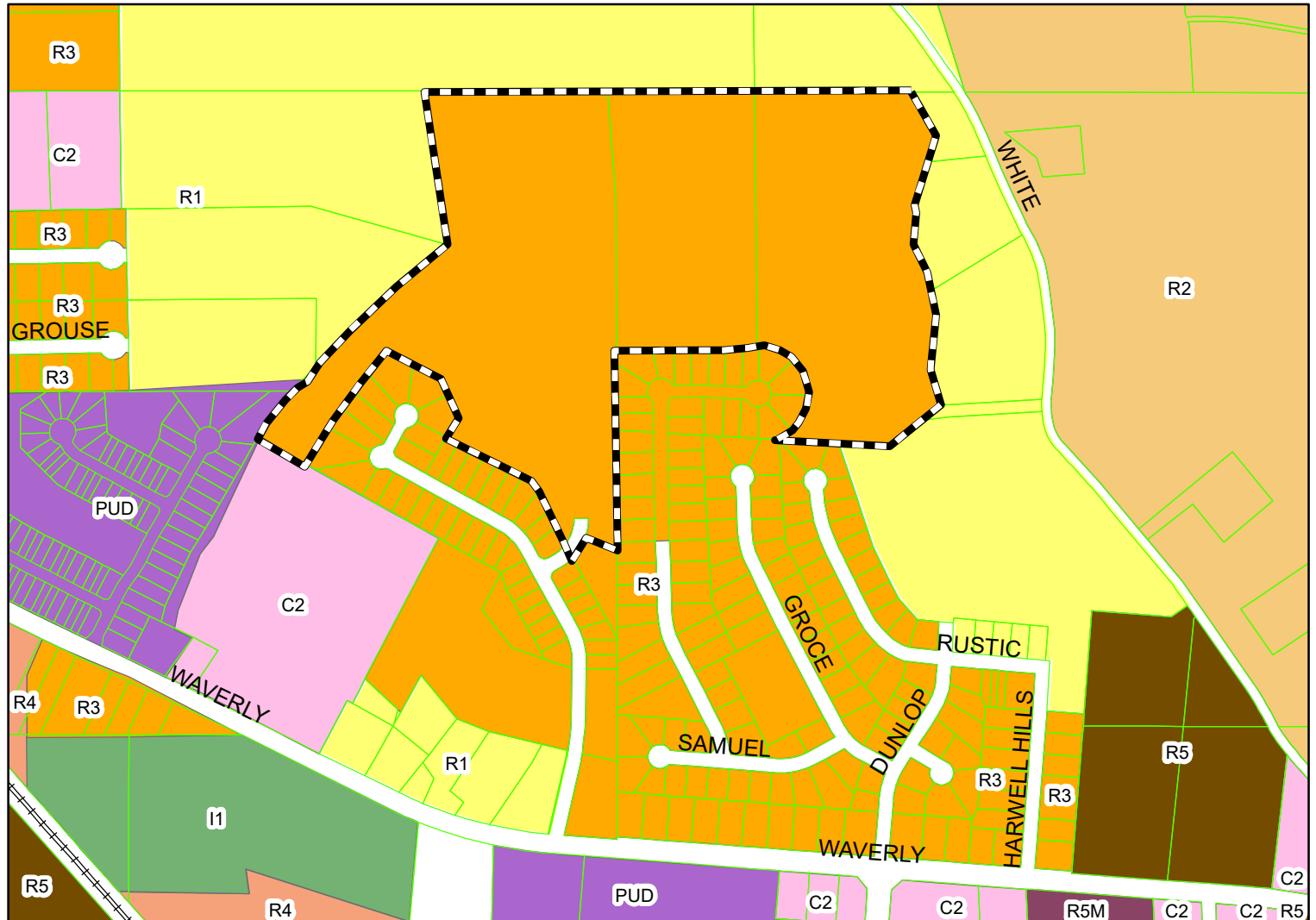
(PRINT NAME) Brandon Hays, Managing Member of Whiteridge Opelika LLC and
Authorized Representative of Wayne Gentry

10/1/2024

WAVERLY WOODS SUBDIVISION

WAVERLY PLACE

PRELIMINARY APPROVAL, A-1



The applicant is requesting approval for 117 single family homes. The subdivision is in a R-3 zoning district accessed from Waverly Place. *



Subject Property

The City of Opelika does not guarantee this map to be free from errors or inaccuracies. The City of Opelika, Alabama disclaims any responsibility or liability for interpretations from this map or decisions based thereon. The information contained on this map is a general representation only and is not to be used without verification by an independent professional qualified to verify such information.

PRELIMINARY PLAT FOR:

WAVERLY WOODS SUBDIVISION

OPELIKA, ALABAMA 36801

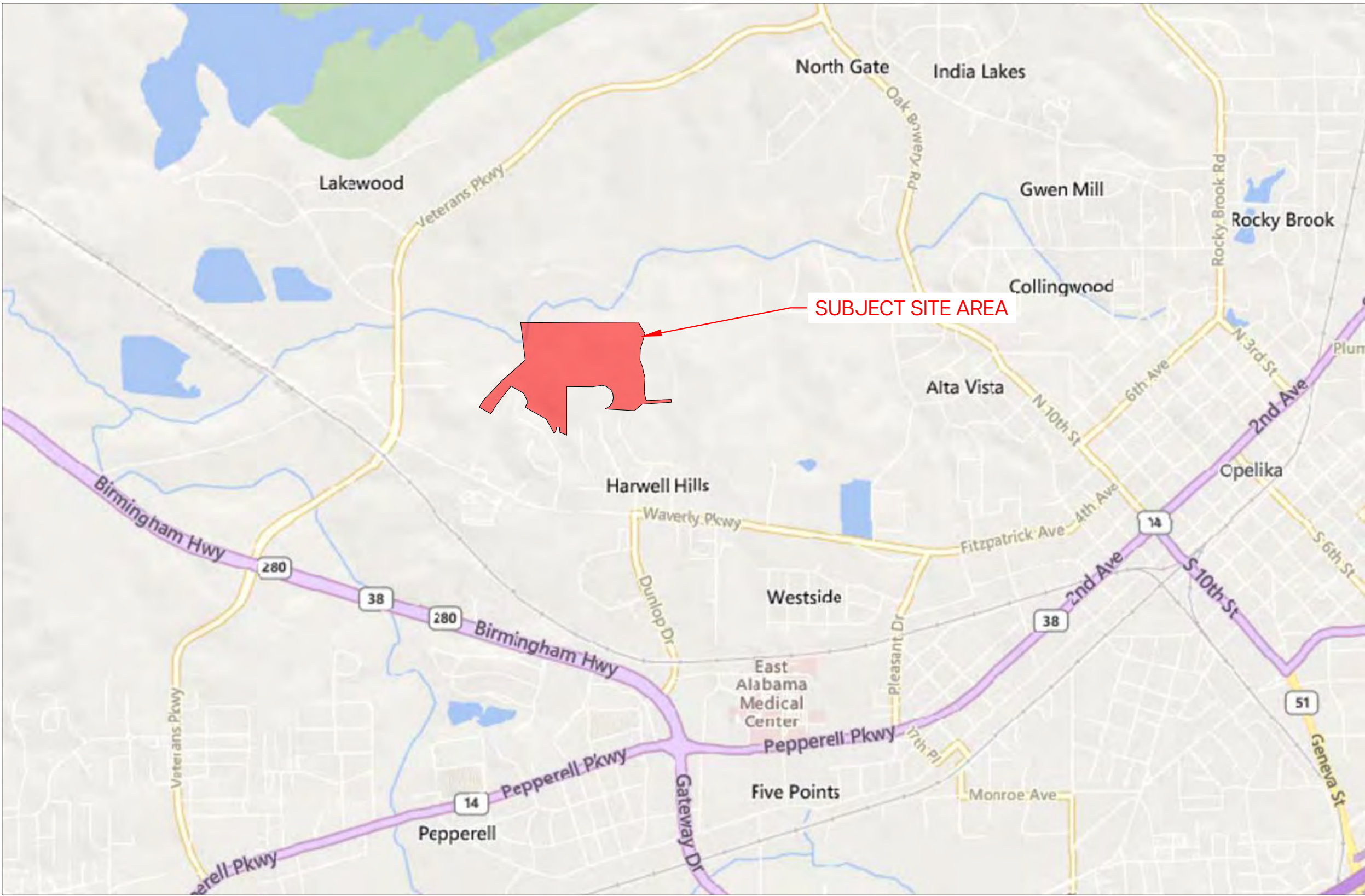
ADEM PERMIT: TBD

CONTACT INFORMATION

CIVIL ENGINEER: HAYES EIFORD, PE
SAMFORD GROUP, LLC
1230 RUTH WAY AUBURN, AL 36830
PHONE: 229-221-8908
EMAIL: HAYES@SAMFORDGROUPLLC.COM

GEN. CONTRACTOR: TBD

SURVEYOR: MIKE MAHER
PRECISION SURVEYING LLC
PHONE: 334-821-0105
EMAIL: MIKE.PRECISIONSURV@GMAIL.COM



VICINITY MAP

SITE INFORMATION:

SITE AREA	
TOTAL SITE AREA:	70.4 AC.
TOTAL DISTURBED:	38 AC.
ZONING CLASSIFICATION	
JURISDICTION:	CITY OF OPELIKA
ZONING:	R-3
LOT SUMMARY	
MIN. LOT WIDTH:	70 FT.
MIN. LOT AREA:	10,000 SF.
MAX. ALLOWABLE DENSITY:	3.5 DU/AC
MAX. BUILDING AREA:	40%
TOTAL PROPOSED LOTS:	117 LOTS
PROPOSED LOT DENSITY:	1.7 DU/AC
SETBACKS:	
FRONT SETBACK:	30 FT.
REAR SETBACK:	25 FT.
SIDE SETBACK:	10 FT.
SIDE SETBACK (STREET):	20 FT.

Sheet List Table

SHEET NUMBER	SHEET TITLE
C-0.0	COVER SHEET
C-3.0	SITE PLAN NOTES
C-3.1	OVERALL SITE PLAN
C-3.2	SITE PLAN
C-3.3	SITE PLAN
C-3.4	SITE PLAN
C-3.5	SITE PLAN
L-1.0	LANDSCAPE PLAN



SAMFORD GROUP, LLC.
3373 SOCIETY HILL ROAD
OPELIKA, AL 36804
SAMFORDGROUPLLC.COM

WAVERLY WOODS
SUBDIVISION
0 WAVERLY PLACE
CITY OF OPELIKA, LEE COUNTY, AL

THESE DOCUMENTS ARE THE PROPERTY OF SAMFORD GROUP, LLC. ANY DISTRIBUTION OR USE BEYOND THEIR INTENT WITHOUT WRITTEN CONSENT IS A VIOLATION OF COPYRIGHT LAWS.

SEAL:

Authorized By: Gregory H. Eiford Jr.
Alabama License Number: 53032

DESIGN TEAM:

DRAWN BY: WB
DESIGNED BY: HE
REVIEWED BY: HE



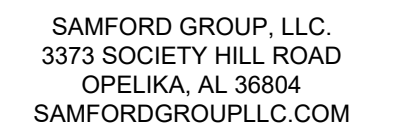
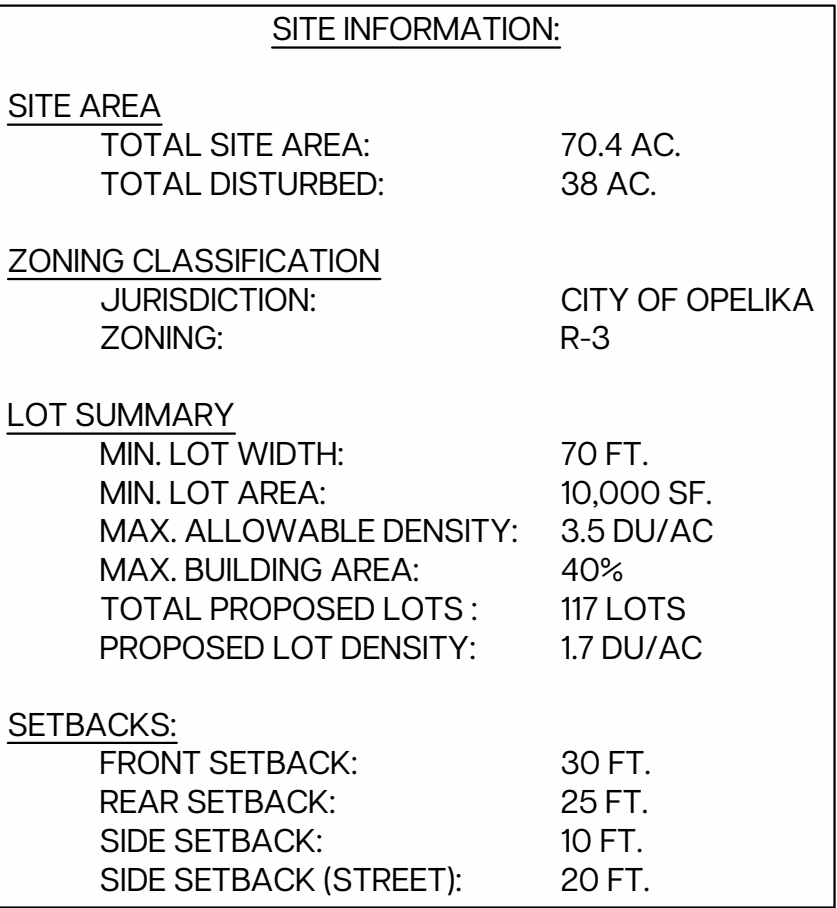
SCALE & NORTH ARROW:

JOB NUMBER: 002
DATE: 9/27/2024

COVER SHEET

C-0.0

Curve Table						
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	275.00'	12.18'	S53°21'43"W	12.18'	2°32'15"	6.09'
C2	425.00'	18.82'	N53°2'143"E	18.82'	2°32'15"	9.41'
C3	275.00'	64.17'	S61°18'54"W	64.02'	13°22'08"	32.23'
C4	425.00'	99.17'	N61°18'54"E	98.94'	13°22'08"	49.81'
C5	275.00'	64.17'	S74°41'03"W	64.02'	13°22'08"	32.23'
C6	425.00'	99.17'	N74°41'03"E	98.94'	13°22'08"	49.81'
C7	275.00'	27.84'	S84°16'09"W	27.83'	5°48'05"	13.93'
C8	425.00'	43.03'	N84°16'09"E	43.01'	5°48'05"	21.53'
C9	125.00'	14.89'	S84°10'01"W	14.88'	6°49'26"	7.45'
C10	200.00'	40.82'	N57°38'50"E	40.75'	11°41'41"	20.48'
C11	200.00'	83.25'	N75°25'09"E	82.65'	23°50'58"	42.24'
C12	50.00'	49.38'	S59°03'07"W	47.40'	56°35'02"	26.91'
C13	20.00'	17.45'	S55°45'27"W	16.90'	49°59'41"	9.33'
C14	200.00'	162.11'	S69°26'06"E	157.71'	46°26'31"	85.81'
C15	50.00'	40.53'	N69°26'06"W	39.43'	46°26'31"	21.45'
C16	200.00'	155.98'	S23°52'16"E	152.06'	44°41'08"	82.20'
C17	50.00'	39.00'	N23°52'16"W	38.01'	44°41'08"	20.55'
C18	200.00'	167.30'	S22°26'07"W	162.46'	47°55'38"	88.89'
C19	50.00'	41.82'				

[illegible]

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Authorized By: Gregory H. Eiford Jr.
Alabama License Number: 53032

DRAWN BY:	WB
DESIGNED BY:	HE
REVIEWED BY:	HE



0 25 50 100
SCALE: 1" = 50'

JOB NUMBER:	002
DATE:	9/24/202

SITE PLAN

C-3.3

[illegible]

WAVERLY WOODS
SUBDIVISION
0 WAVERLY PLACE
CITY OF OPELIKA, LEE COUNTY, AL

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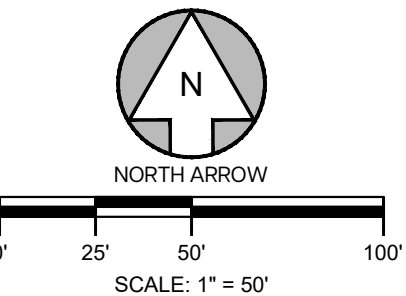
DESIGN TEAM:

DRAWN BY:	WB
DESIGNED BY:	HE
REVIEWED BY:	HE



Know what's **below**.
Call before you dig.

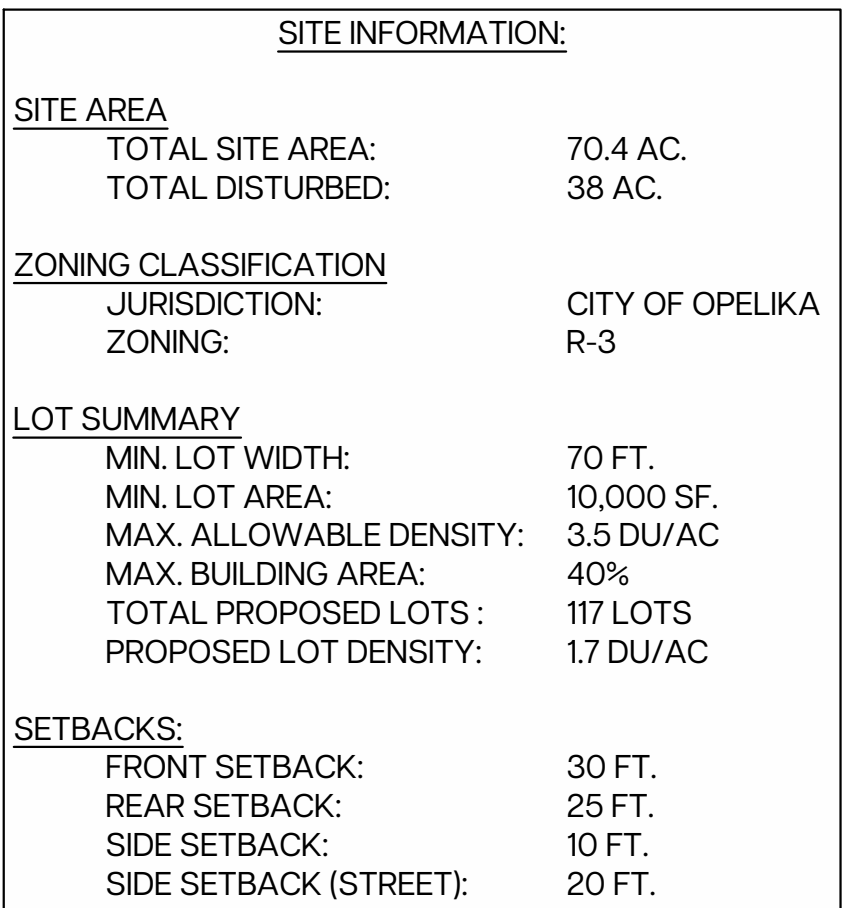
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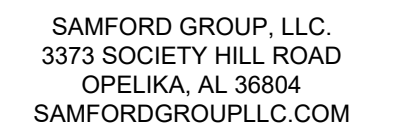
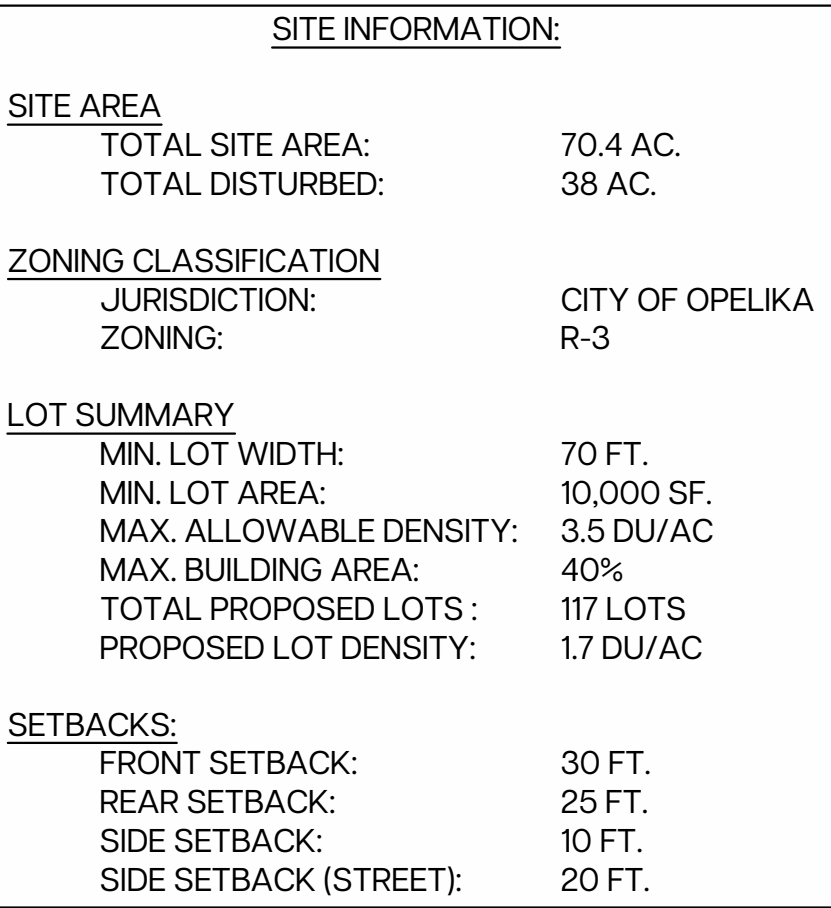


JOB NUMBER: 002
DATE: 9/24/202

SITE PLAN

C-3.4



[illegible]

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DESIGNED BY:	HE
REVIEWED BY:	HE



0' 25' 50' 100'

SCALE: 1" = 50'

SITE PLAN

PRELIMINARY PLAT FOR:

WAVERLY WOODS SUBDIVISION

OPELIKA, ALABAMA 36801

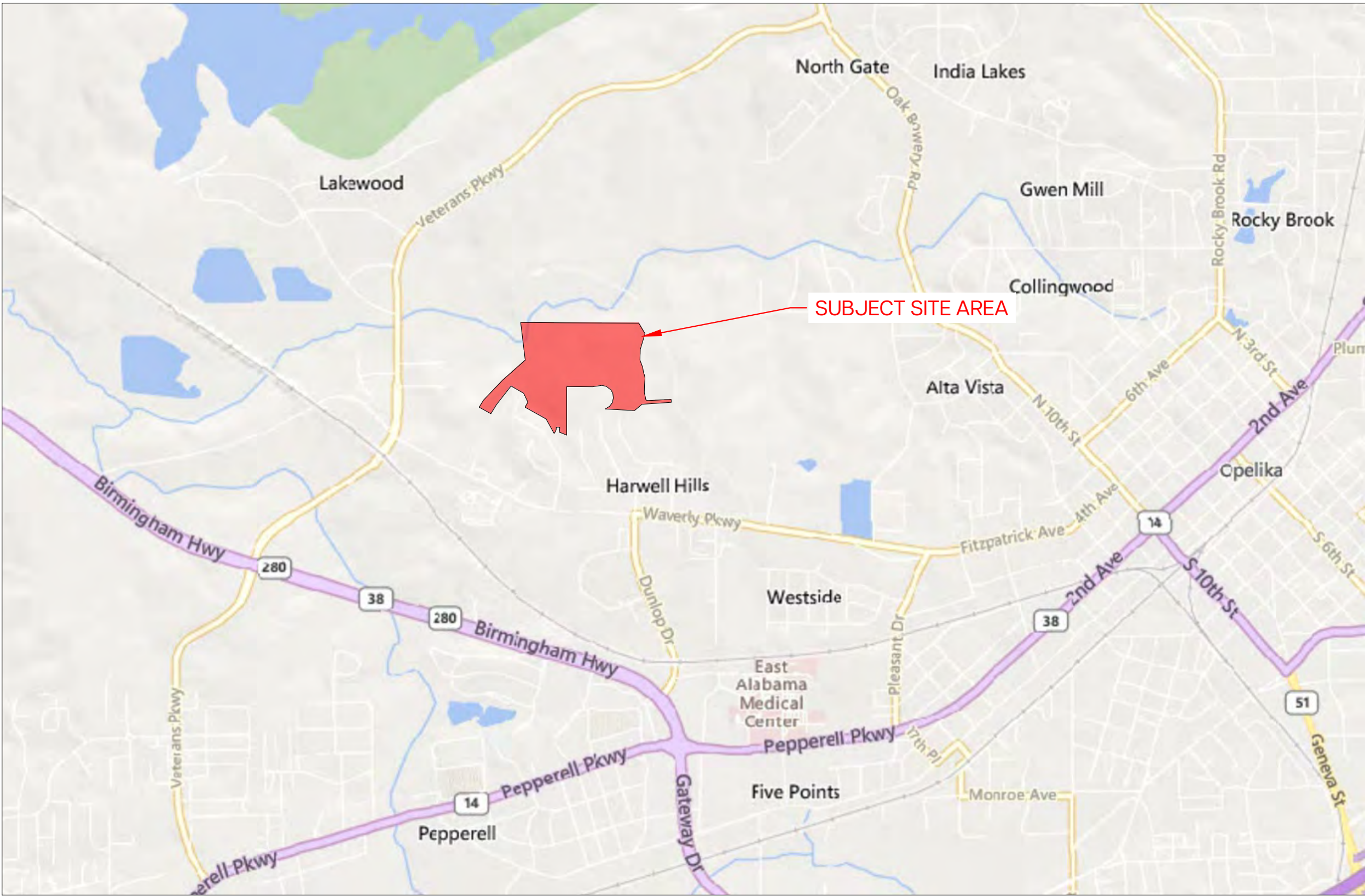
ADEM PERMIT: TBD

CONTACT INFORMATION

CIVIL ENGINEER: HAYES EIFORD, PE
SAMFORD GROUP, LLC
1230 RUTH WAY AUBURN, AL 36830
PHONE: 229-221-8908
EMAIL: HAYES@SAMFORDGROUPLLC.COM

GEN. CONTRACTOR: TBD

SURVEYOR: MIKE MAHER
PRECISION SURVEYING LLC
PHONE: 334-821-0105
EMAIL: MIKE.PRECISIONSURV@GMAIL.COM



VICINITY MAP

SITE INFORMATION:

SITE AREA	
TOTAL SITE AREA:	70.4 AC.
TOTAL DISTURBED:	38 AC.
ZONING CLASSIFICATION	
JURISDICTION:	CITY OF OPELIKA
ZONING:	R-3
LOT SUMMARY	
MIN. LOT WIDTH:	70 FT.
MIN. LOT AREA:	10,000 SF.
MAX. ALLOWABLE DENSITY:	3.5 DU/AC
MAX. BUILDING AREA:	40%
TOTAL PROPOSED LOTS :	117 LOTS
PROPOSED LOT DENSITY:	1.7 DU/AC
SETBACKS:	
FRONT SETBACK:	30 FT.
REAR SETBACK:	25 FT.
SIDE SETBACK:	10 FT.
SIDE SETBACK (STREET):	20 FT.

Sheet List Table

SHEET NUMBER	SHEET TITLE
C-0.0	COVER SHEET
C-3.0	SITE PLAN NOTES
C-3.1	OVERALL SITE PLAN
C-3.2	SITE PLAN
C-3.3	SITE PLAN
C-3.4	SITE PLAN
C-3.5	SITE PLAN
L-1.0	LANDSCAPE PLAN

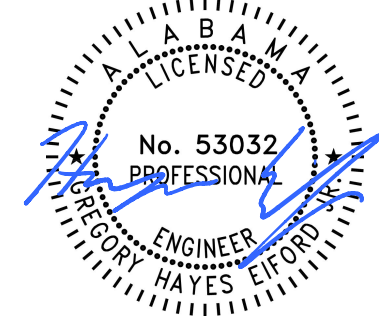


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WAVERLY WOODS
SUBDIVISION
0 WAVERLY PLACE
CITY OF OPELIKA, LEE COUNTY, AL

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SEAL:



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Alabama License Number: 53032

DESIGN TEAM:

DRAWN BY:	WB
DESIGNED BY:	HE
REVIEWED BY:	HE



Know what's below.
Call before you dig.

SCALE & NORTH ARROW:

JOB NUMBER: 002
DATE: 10/15/2024

COVER SHEET

C-0.0

Curve Table						
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	275.00'	45.64'	N4°38'59"W	45.58'	9°30'29"	22.87'
C2	425.00'	46.28'	N3°00'55"W	46.26'	6°14'23"	23.16'
C3	225.00'	61.56'	N7°44'01"W	61.37'	15°40'34"	30.97'
C4	175.00'	17.32'	S2°57'03"W	17.32'	5°40'18"	8.67'
C5	325.00'	32.17'	N2°57'03"E	32.16'	5°40'18"	16.10'
C6	275.00'	133.52'	N33°39'06"W	132.21'	27°49'05"	68.10'
C7	175.00'	61.25'	S15°48'48"W	60.94'	20°03'13"	30.94'
C8	175.00'	61.25'	S35°52'01"W	60.94'	20°03'13"	30.94'
C9	175.00'	61.25'	S55°55'14"W	60.94'	20°03'13"	30.94'
C10	175.00'	61.25'	S75°58'27"W	60.94'	20°03'13"	30.94'
C12	12.00'	18.85'	S42°10'12"W	16.97'	90°00'00"	12.00'
C13	325.00'	113.75'	N15°48'48"E	113.17'	20°03'13"	57.46'
C14	325.00'	113.75'	N35°52'01"E	113.17'	20°03'13"	57.46'
C15	325.00'	113.75'	N55°55'14"E	113.17'	20°03'13"	57.46'
C17	3601.85'	60.80'	S0°06'16"W	60.80'	0°58'02"	30.40'
C18	200.00'	175.00'	S12°45'33"W	169.47'	50°08'02"	93.55'
C19	325.00'	113.75'	N75°58'27"E	113.17'	20°03'13"	57.46'
C20	200.00'	175.00'	S62°53'35"W	169.47'	50°08'02"	93.55'
C						



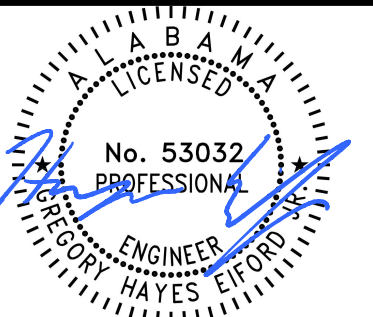
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[illegible]

WAVERLY WOODS
SUBDIVISION
0 WAVERLY PLACE
CITY OF OPELIKA, LEE COUNTY, AL

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Alabama License Number: 53032

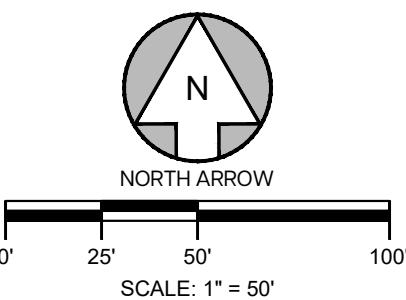
DESIGN TEAM:

DRAWN BY:	WB
DESIGNED BY:	HE
REVIEWED BY:	HE



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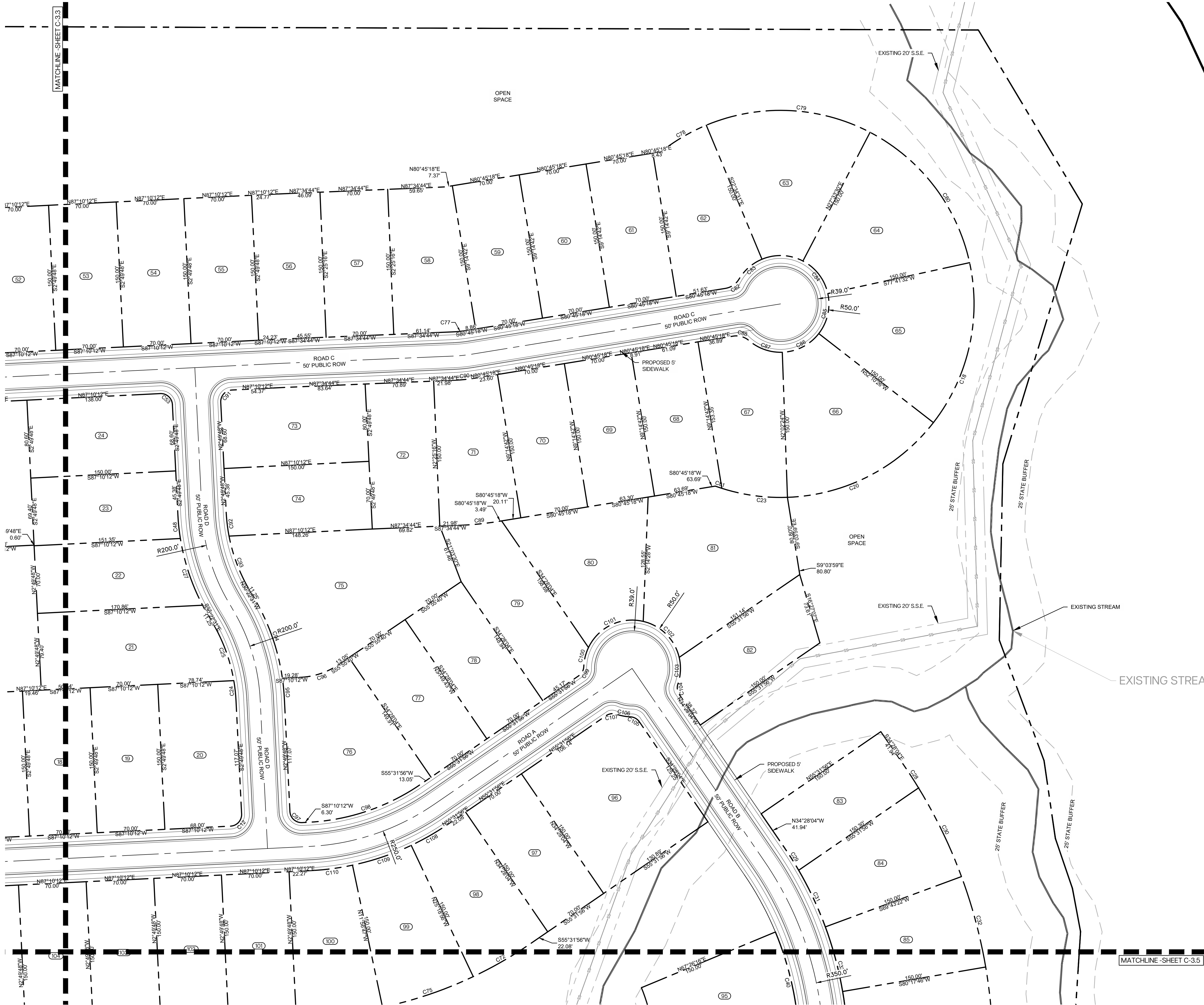
SCALE & NORTH ARROW:



JOB NUMBER: 002
DATE: 10/15/202

SITE PLAN

C-3.3



SITE INFORMATION:	
SITE AREA	
TOTAL SITE AREA:	70.4 AC.
TOTAL DISTURBED:	38 AC.
ZONING CLASSIFICATION	
JURISDICTION:	CITY OF OPELIKA
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LOT SUMMARY	
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SETBACKS:	
FRONT SETBACK:	30 FT.
REAR SETBACK:	25 FT.
SIDE SETBACK:	10 FT.
SIDE SETBACK (STREET):	20 FT.



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WAVERLY WOODS
SUBDIVISION
0 WAVERLY PLACE
CITY OF OPELIKA, LEE COUNTY, AL

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Authorized By: Gregory H. Eiford, Jr.
Alabama License Number: 53032

DESIGN TEAM:

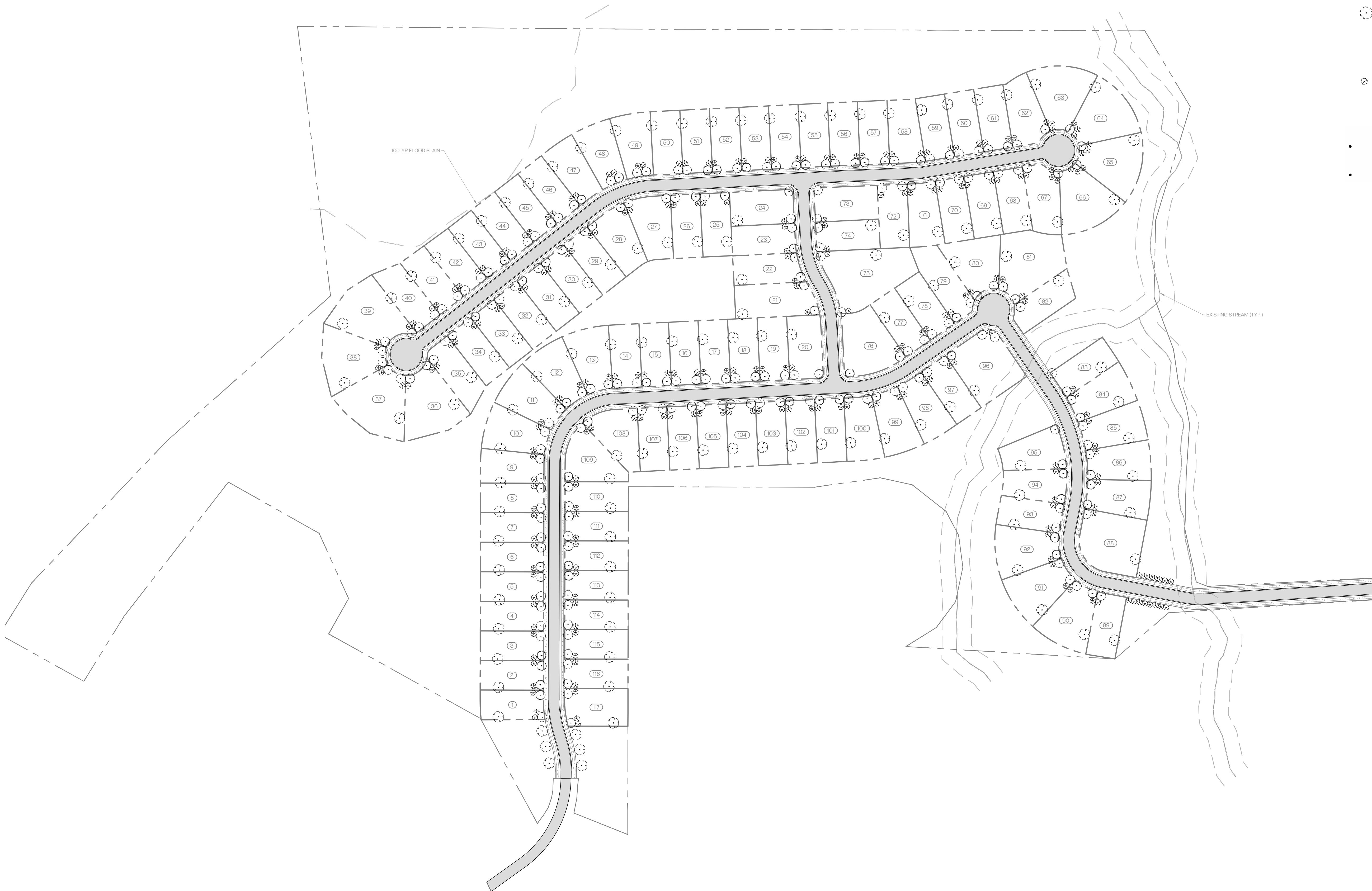
DRAWN BY:	WB
DESIGNED BY:	HE
REVIEWED BY:	HE

811
Know what's below.
Call before you dig.

SCALE & NORTH ARROW:

SCALE: 1" = 50'

JOB NUMBER: 002
DATE: 10/15/2022
SITE PLAN



PLAN-SCHEDULE		
<u>TREE TYPE</u>		<u>QTY</u>
	LARGE TREE	120
	MEDIUM TREE	225
<u>SHRUB TYPE</u>		<u>QTY</u>
	MEDIUM SHRUB	245
•	POINTS REQUIRED	3,330
•	POINTS PROVIDED	3,365

REVISED PLAT REPORT
City of Opelika
Planning Commission
Planning Department Report

Meeting Date: October 22, 2024

Subdivision: Southern Pines Subdivision

Agenda Item #: B-2

Action Requested: Final Approval

Location of Property: Briarwood Lane Extension off North Gate Drive

Property Owner(s): Bryan Stone, property owner
David Slocum, Pinnacle Design, Inc., authorized applicant

Current Land Use: Single Family Residential Development

Current Zoning: R-2

Flood Zone: No portions of this property are shown to fall into a flood plain per FEMA FIRM PANEL Nov 2, 2011 – MAP#01081C0067G

Staff Comments:

The applicant is requesting final plat approval for a 17-lot subdivision and one open space lot located in the R-2 zoning district. The open space lot must have a lot or parcel number or title. These lots will be primarily accessed from the connection on Briarwood Lane. These lots meet the minimum lot requirements for the R-2 zoning districts. The lots range in size from 15,000 square feet to 1.26 acres; lot widths range from 30 (cul de sac) feet to 94.6 feet. A variance was granted by Zoning Board of Adjustments on May 14, 2024. The variance was a 5-foot side yard setback variance from the minimum 15-foot side yard setback required on one side yard for all single-family home lots in the Southern Pines Subdivision to allow for side entry garages. The setback lines shown are not correct and should be removed prior to recording. Add a note to the plat explaining the variance granted for one side of each yard to allow for side entry garages.

The application states these lots will be single-family homes. An additional access easement is shown between Lots 36 and 37 to access proposed open space lot. Clarify the use and size of open space lot. Add a note to show who will own and maintain lot shown as proposed open space. Underground utilities and sidewalks are required on both sides of the street. The setbacks are not required to be shown on the lots.

The plat appears to meet most of the minimum requirements with modification recommended for final plat approval.

Planning staff recommends final plat approval subject to the following:

1. Remove the minimum setbacks shown on the lots.
2. Add a note: A 5-foot side yard setback variance from the minimum 15-foot side yard setback required on one side yard for all single-family home lots in the Southern Pines Subdivision to allow for side entry garages.
3. Add a note to clarify size, use, ownership, and maintenance for proposed open space.
4. The open space lot must have a lot or parcel number or title.
5. All utilities shall be underground.
6. Sidewalks are required on both sides of the street.
7. Opelika Utilities has reverted to Opelika Water Board.
8. Opelika Light & Power is now Opelika Power Services
9. Note 4 describes a Tract 3. Tract 3 is not listed on the plat. Please correct or delete note.
10. Add a note future Phase 2 will have pool house and pool amenity for this neighborhood on Lot 19.

Engineering Department Report

The Engineering Department has been inspecting the construction and testing of the infrastructure in this subdivision. A Certification of Completion will be completed and signed by the Engineering and Public Works Directors as soon as all the infrastructure completion items below have been met and a positive recommendation for approval will be given:

- All drainage structures, aggregate base and pavement have been completed.
- All stop and roadway signs have been installed.
- Maintenance Bond of 25% of the infrastructure construction cost will need to be submitted.
- Performance Bond of 125% of the estimated cost to place the remaining roadway surface and sidewalks will need to be submitted.
- As-built documents of the roadway, and storm drain in the form of an Autocad and PDF digital file will need to be submitted to the Engineer Department. The required data should include location and elevations of all the inverts of the systems.
- The ROW and lots have been graded, and stabilized with seed and mulch, and other erosion/sediment control items have been added to protect against erosion and sediment issues.

The Engineering Department has no other comments or concerns with this proposed final plat

Opelika Water Board Report

Infrastructure must be inspected and accepted by Opelika Water before final plat can be approved.

Opelika Power Services Report

This property is located in the Opelika Power service territory.

060394-2024

AGENDA ITEM # 2

**APPLICATION FOR
SUBDIVISION APPROVAL
PLANNING DEPARTMENT
700 FOX TRAIL
OPELIKA, AL 36801**

PC DEADLINE: 10-1-24 PC MEETING: 10-22-24

SITE ADDRESS: 1604 Oak Bowery Rd.

PROPERTY OWNER: Bryan Stone

APPLICANT/AUTHORIZED REPRESENTATIVE: David Slocum

MAILING ADDRESS: 106B W. Veterans Blvd. Auburn, AL 36830

PHONE NUMBER: (334) 703-8860 **FAX NUMBER:** _____

EMAIL ADDRESS: dslocum@pinnacle-inc.net

TYPE OF PLAT APPROVAL REQUESTED

☐ SKETCH PLAN ☐ ADMINISTRATIVE ☐ PRELIMINARY ☒ FINAL

Does the subdivision require any other official action by the City? _____

☐ Annexation ☐ Rezoning ☐ Other _____

PARCEL INFORMATION

Subdivision Name: Southern Pines Subdivision Number of Lots: 46 x \$3.00 = \$ 138.00

Current Land Use: Vacant Number of APO: 34 x \$6.74 = \$ 229.16
(Adjacent Property Owners)

Current Zoning: R1 and R2 Fee: \$75.00

Proposed use of the Subdivision: Single-family **TOTAL** = 442.16

☒ Residential ☐ Commercial
☐ Manufacturing/Industrial ☐ Office/Institutional

PAID _____

I, the undersigned, hereby request the Opelika Planning Commission review the Subdivision Plat for (name of subdivision) Southern Pines Subdivision. I understand that I must provide certain information as noted in Section 4.2, Section 4.3, and/or Section 4.4 of the Opelika Subdivision Regulations in order for the Planning Commission to review my plans. The City may require additional information or requirements, or waive certain requirements, at any time during the process. Failure to provide accurate and complete information may result in disapproval by the Planning Department and/or Planning Commission. This application, plat, and all other information are submitted with the full authorization and knowledge of the property owner(s). The undersigned below hereby swears to be the authorized applicant designated by the property owner(s) as representative or agent for the property owner(s) and therefore authorized to make said application and submit said documents on this request. The undersigned authorizes the City to inspect the subject property as necessary in reviewing the above referenced request.

**OWNERS/AUTHORIZED
REPRESENTATIVE SIGNATURE**

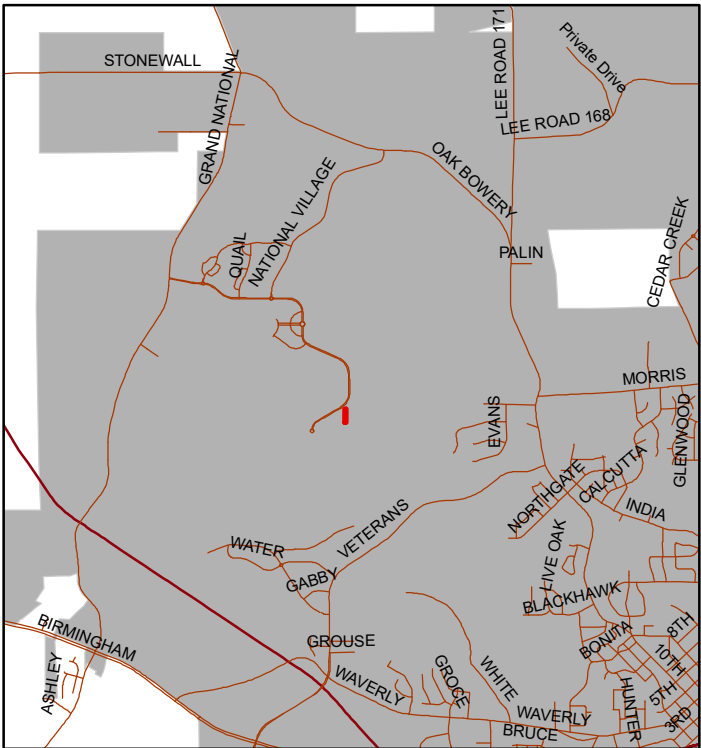
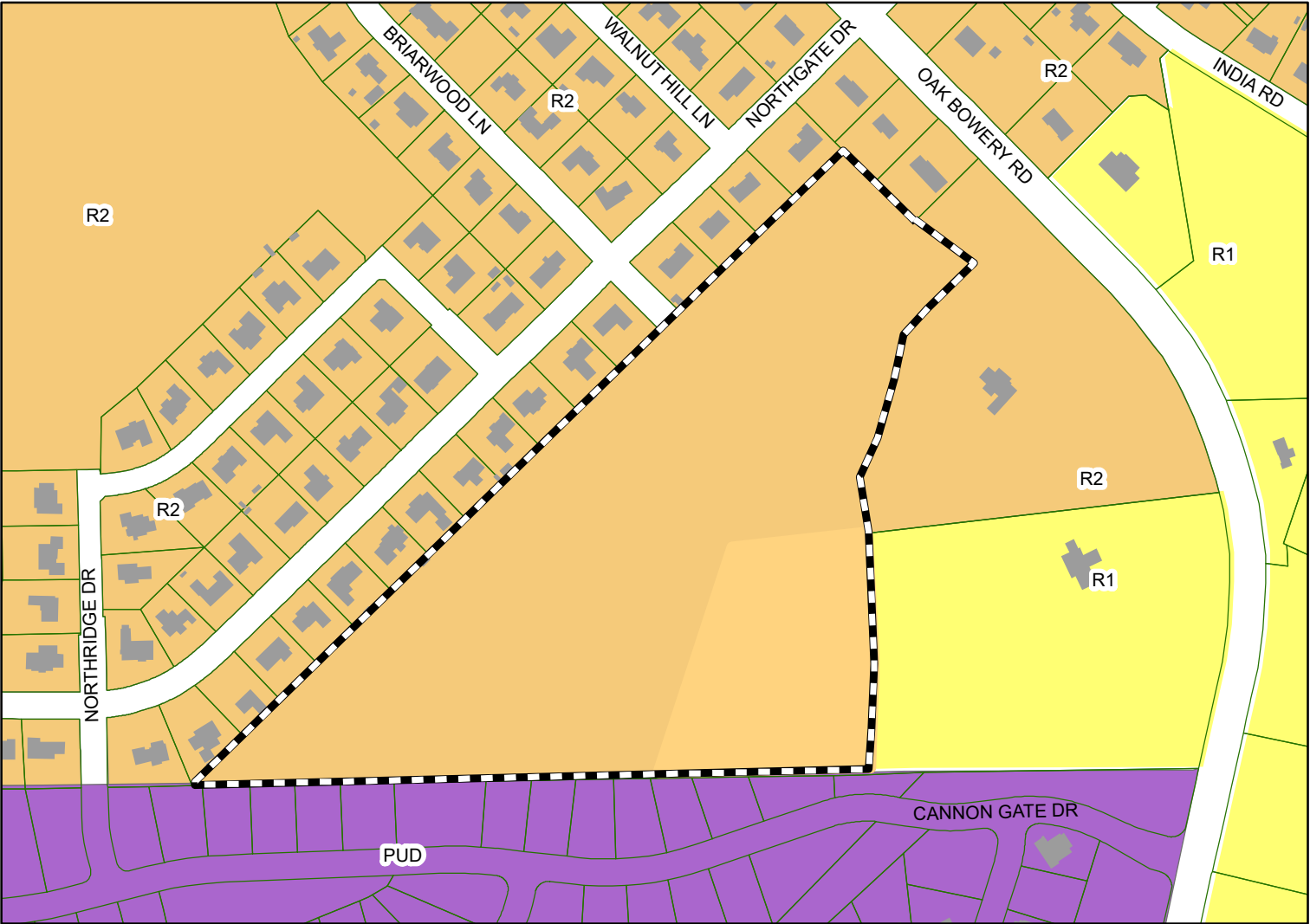
David A. Slocum

9/30/2024

(PRINT NAME) David Slocum

DATE

SOUTHERN PINES SUBDIVISION
BRIARWOOD LANE EXTENSION
FINAL APPROVAL, B-2

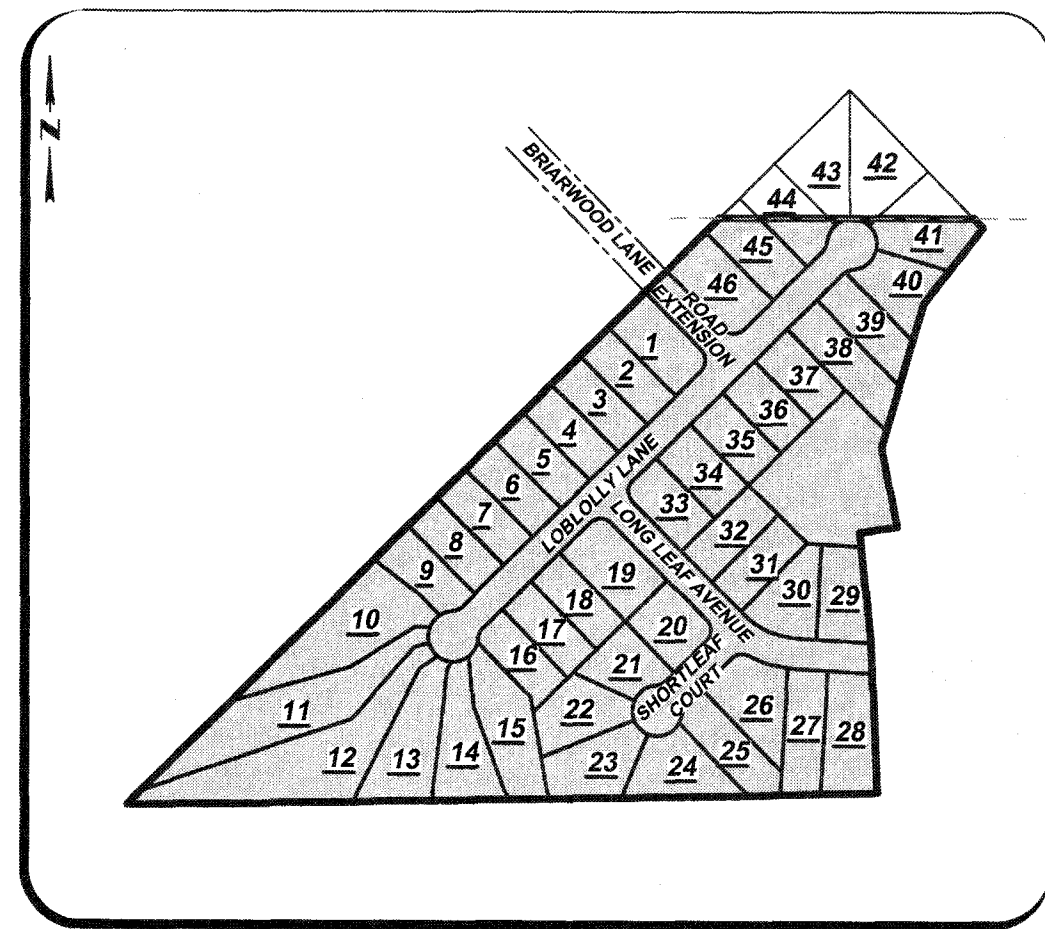


The applicant is requesting final plat approval for 46 lots in the R-2 zoning district. All lots are at least 15,000 square feet.

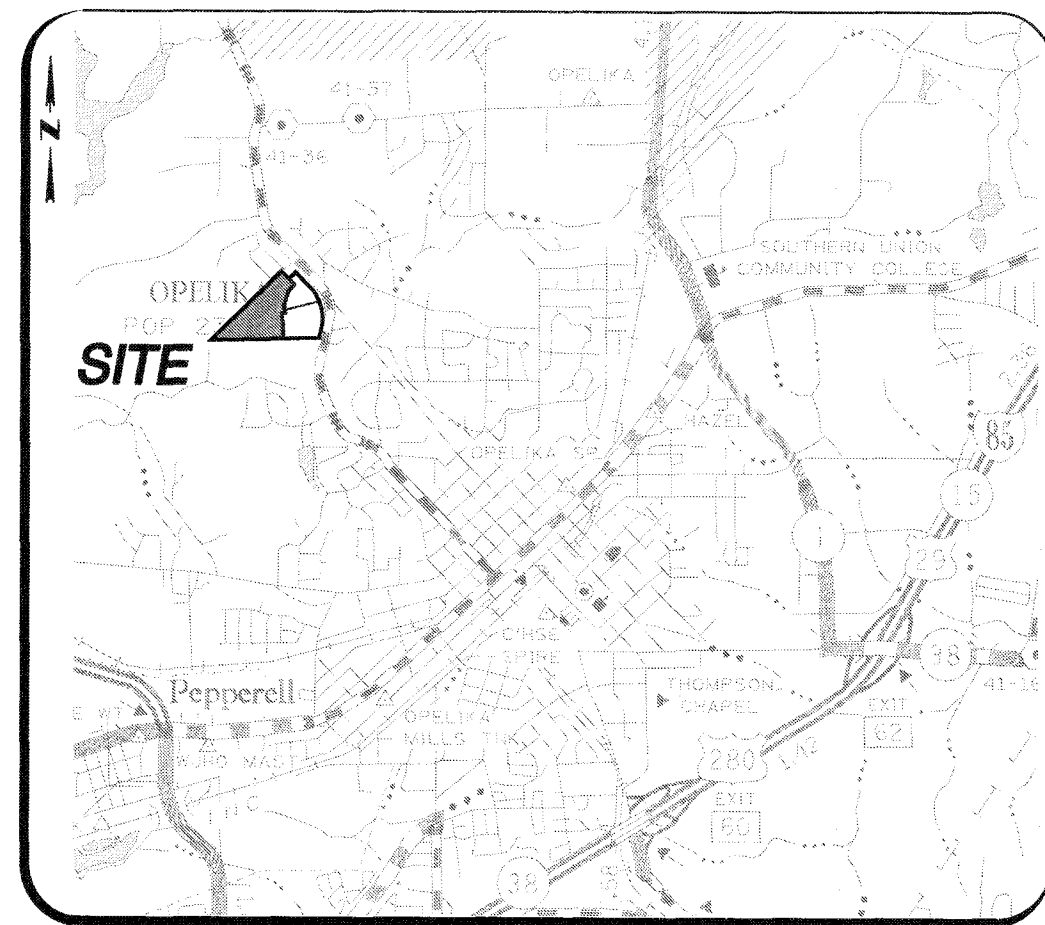


Subject Property

The City of Opelika does not guarantee this map to be free from errors or inaccuracies. The City of Opelika, Alabama disclaims any responsibility or liability for interpretations from this map or decisions based thereon. The information contained on this map is a general representation only and is not to be used without verification by an independent professional qualified to verify such information.



SHEET INDEX
NOT TO SCALE



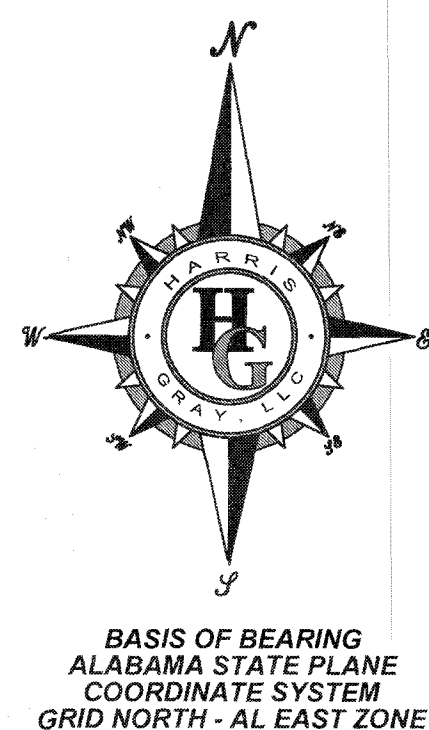
VICINITY MAP
NOT TO SCALE

LEGEND	
○	IRON PIN SET - 1/2" REBAR
●	IRON PIN FOUND - AS NOTED
IP	IRON PIN SET
△	CRIMP TOP PIPE
CTP	OPEN TOP PIPE
RB	REBAR
EXIST	EXISTING
P.O.B.	POINT OF BEGINNING
R/W	RECORDED DISTANCE
E	EAST
W	WEST
N	NORTH
S	SOUTH
NE	NORTHEAST
SE	SOUTHEAST
SW	SOUTHWEST
NW	NORTHWEST
DEG	DEGREES
MIN	MINUTES IN A BEARING
SEC	SECONDS IN A BEARING
FEET	FEET IN A DISTANCE
INCHES	INCHES IN A DISTANCE
UNDERGROUND POWER	UNDERGROUND POWER
OVERHEAD ELECTRIC LINE	OVERHEAD ELECTRIC LINE
GUY WIRE	GUY WIRE
POWER POLE/UTILITY POLE	POWER POLE/UTILITY POLE
LIGHT POLE	LIGHT POLE
WATER METER	WATER METER
WATER VALVE	WATER VALVE
BUILDING SETBACK LINE	BUILDING SETBACK LINE
LINE NOT TO SCALE	LINE NOT TO SCALE

Line Table		
Line #	Direction	Length
L1	N28°32'20.20"E	16.91'
L2	N55°21'21.88"E	43.33'
L3	N75°51'44.98"E	29.64'
L4	S88°44'48.80"E	29.09'

Curve Table				
Curve #	Arc Length	Radius	Chord Bearing	Chord Length
C1	21.68'	30.00'	N68°21'53"E	21.21'
C2	26.90'	50.00'	N71°39'18"E	26.58'
C3	30.99'	50.00'	N38°29'01"E	30.50'
C4	31.68'	50.00'	N02°34'42"E	31.15'
C5	31.17'	50.00'	N33°29'42"W	30.67'
C6	30.15'	50.00'	N68°33'43"W	29.70'
C7	36.49'	50.00'	S73°15'19"W	35.69'
C8	33.66'	50.00'	S33°03'42"W	33.03'
C9	8.31'	50.00'	S09°00'46"W	8.30'
C10	21.68'	30.00'	S24°57'18"W	21.21'
C11	27.19'	40.00'	N65°07'52"E	26.67'
C12	52.94'	50.00'	N54°16'11"E	50.50'
C13	40.00'	50.00'	N01°01'07"E	38.94'

Curve Table				
Curve #	Arc Length	Radius	Chord Bearing	Chord Length
C14	40.00'	50.00'	N44°49'05"W	38.94'
C15	72.16'	50.00'	S70°55'19"W	66.06'
C16	19.95'	50.00'	S18°08'55"W	19.82'
C17	27.19'	40.00'	S26°11'19"W	26.67'
C18	9.76'	40.00'	S52°38'54"W	9.73'
C19	17.43'	40.00'	S72°07'10"W	17.29'
C20	62.63'	50.00'	S48°43'01"W	58.62'
C21	53.10'	50.00'	S17°35'27"E	50.64'
C22	40.74'	50.00'	S71°21'31"E	39.63'
C23	31.91'	50.00'	N67°00'50"E	31.37'
C24	36.66'	50.00'	N27°43'28"E	35.65'
C25	27.19'	40.00'	N26°11'19"E	26.67'



NORTH GATE DRIVE
(60' RIGHT-OF-WAY)

BRIARWOOD LANE
(60' RIGHT-OF-WAY)

ROAD EXTENSION
(PROPOSED 60' RIGHT-OF-WAY)

LOBLOLLY LANE
(PROPOSED 60' RIGHT-OF-WAY)

LONG LEAF AVENUE
(PROPOSED 60' RIGHT-OF-WAY)

SHORTLEAF COURT
(PROPOSED 60' RIGHT-OF-WAY)

CANNON GATE DRIVE
(60' RIGHT-OF-WAY)

TRACT 1
CAROLYN PRINCE DUDLEY
D.B. 2878, PG. 63
PARCEL ID.
43-09-01-01-2-000-061.019

TRACT 2
CAROLYN PRINCE DUDLEY
D.B. 2878, PG. 63
PARCEL ID.
43-09-01-01-2-000-061.018

DATE

REVISIONS

BY

DATE

THIS PLAT IS NOT VALID UNLESS IT BEARS THE ORIGINAL SIGNATURE OF THE REGISTRANT ACROSS THE REGISTRANT'S SEAL

GRAPHIC SCALE
0' 30' 60' 120' 180'

FINAL SUBDIVISION PLAT FOR

SOUTHERN PINES SUBDIVISION

SECTION 1, T-19-N, R-26-E
CITY OF OPELIK, LEE COUNTY, ALABAMA

DATE

9/30/2024

DRAWN BY

RLW

CHKD BY

BSG

FILE NAME

SP.FINAL

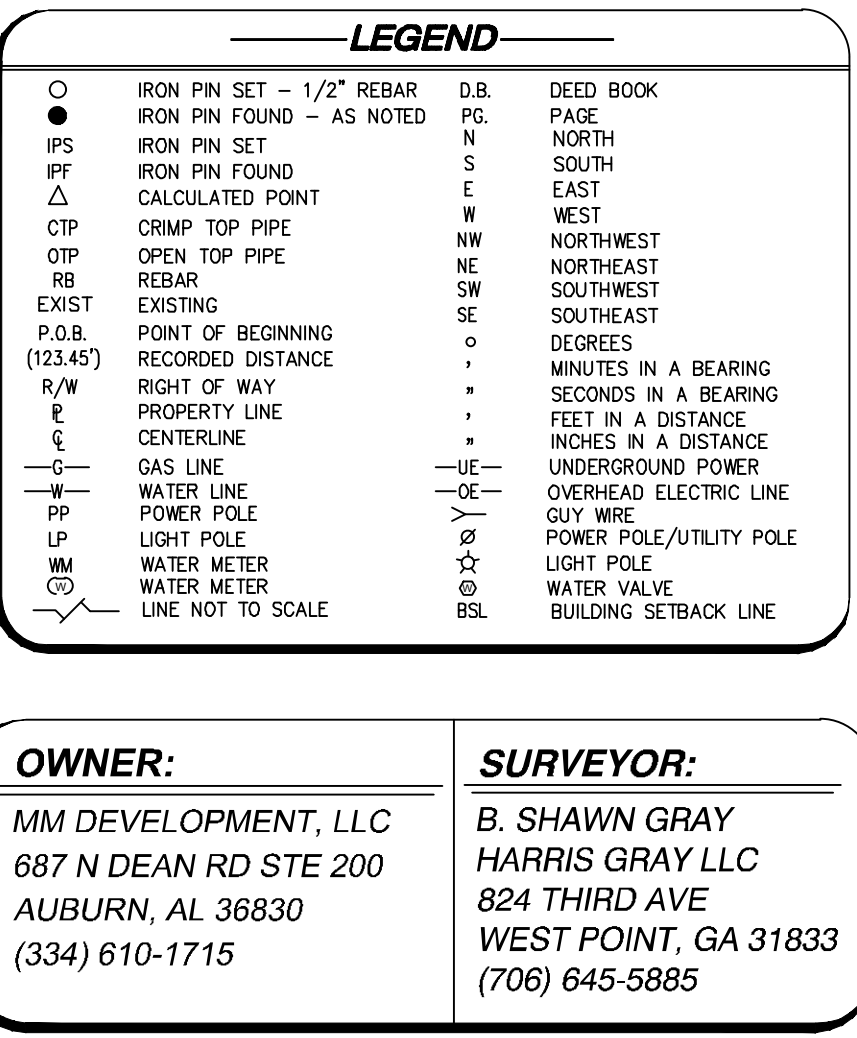
JOB NO.

AL230145

DWG. SCALE

1" = 60'

SHT. 1 OF 2



LOT TABLE		
LOT #	ACREAGE	SQUARE FOOTAGE
1	0.433 ACRES	18,870 SQ. FT.
2	0.349 ACRES	15,185 SQ. FT.
3	0.348 ACRES	15,173 SQ. FT.
33	0.356 ACRES	15,520 SQ. FT.
34	0.363 ACRES	15,820 SQ. FT.
35	0.345 ACRES	15,044 SQ. FT.
36	0.345 ACRES	15,044 SQ. FT.
37	0.345 ACRES	15,044 SQ. FT.
38	0.490 ACRES	21,338 SQ. FT.
39	0.396 ACRES	17,228 SQ. FT.
40	0.389 ACRES	16,929 SQ. FT.
41	0.574 ACRES	25,000 SQ. FT.
42	0.517 ACRES	22,513 SQ. FT.
43	0.493 ACRES	21,490 SQ. FT.
44	0.415 ACRES	18,075 SQ. FT.
45	0.416 ACRES	18,130 SQ. FT.
46	0.476 ACRES	20,713 SQ. FT.

Curve Table				
Curve #	ARC	Radius	Direction	Length
C18	9.76'	40.00'	S52°38'54"W	9.73'
C19	17.43'	40.00'	S72°07'10"W	17.29'
C20	62.63'	50.00'	S48°43'01"W	58.62'
C21	53.10'	50.00'	S17°35'27"E	50.64'
C22	40.74'	50.00'	S71°21'31"E	39.63'
C23	31.91'	50.00'	N67°00'50"E	31.37'
C24	36.66'	50.00'	N26°43'01"E	35.85'
C25	27.19'	40.00'	N26°11'19"E	26.67'



THIS PLAT IS NOT VALID UNLESS IT BEARS THE ORIGINAL SIGNATURE OF THE REGISTRANT ACROSS THE REGISTRANT'S SEAL.



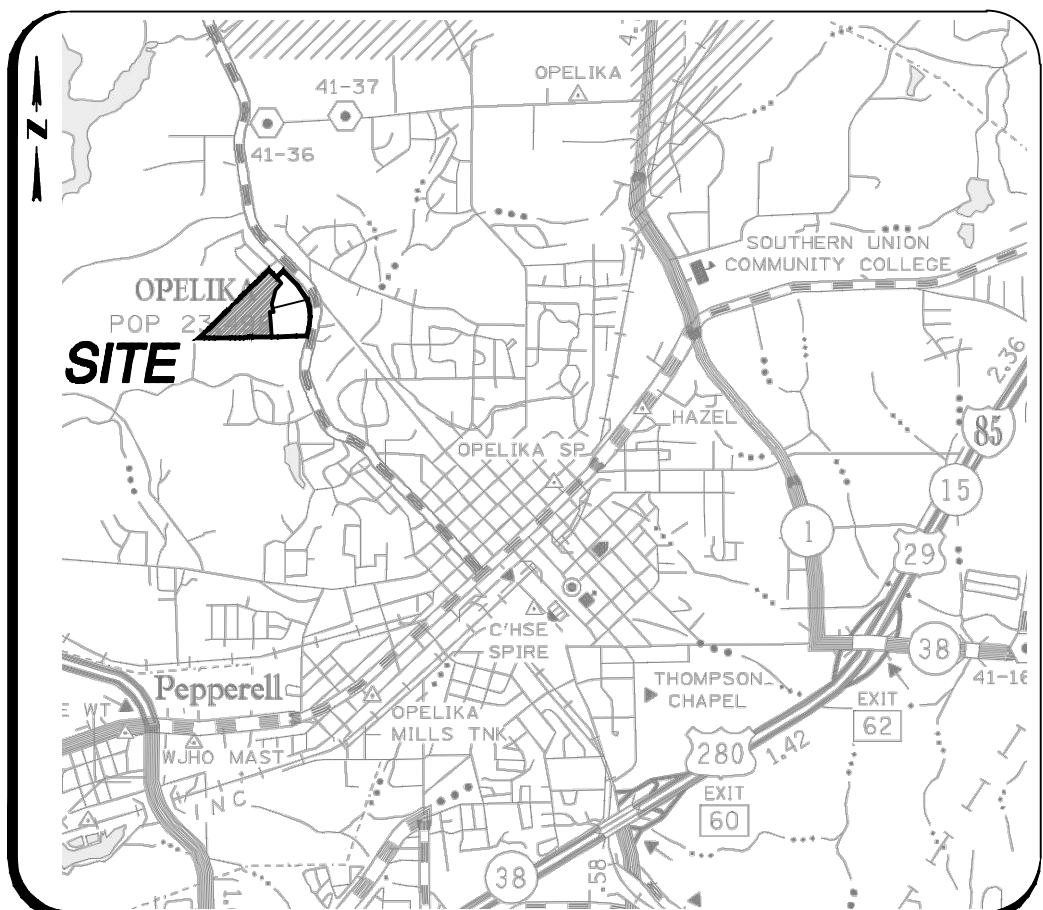
FINAL SUBDIVISION PLAT FOR
SOUTHERN PINES SUBDIVISION
PHASE 1

SECTION 1, T-19-N, R-26-E
CITY OF OPELIKA, LEE COUNTY, ALABAMA



CAROLYN PRINCE DUDLEY		43-09-01-01-2-000-061.018	13605	1604 OAK BOWERY ROAD		OPELIKA	AL	36801
ID	ADJOINING/ADJACENT PROPERTY OWNERS	Parcel Number	Acct	Property Address	Mailing Address	Mailing City	Mailing State	Mailing Zip
1	MICHAEL MCGRAW & KATHRYN SMITH	43-09-01-01-2-000-061.051	33490	1918 NORTH GATE DRIVE		OPELIKA	AL	36801
2	REGINALD I. & MARY TRAMMELL	43-09-01-01-2-000-061.050	5404	1916 NORTH GATE DRIVE		OPELIKA	AL	36801
3	TAYLOR DANIEL & HOLLAND POWERS	43-09-01-01-2-000-061.049	36963	1914 NORTH GATE DRIVE		OPELIKA	AL	36801
4	JULIA HILL	43-09-01-01-2-000-061.048	20312	1912 NORTH GATE DRIVE		OPELIKA	AL	36801
5	YAOQI ZHANG	43-09-01-01-2-000-061.047	21140	1910 NORTH GATE DRIVE	2011 ST. PATRICK COURT	AUBURN	AL	36830
6	PATRICIA VINSON	43-09-01-01-2-000-061.046	22629	1908 NORTH GATE DRIVE		OPELIKA	AL	36801
7	ALEX & LAUREN CARTER	43-09-01-01-2-000-061.045	6387	1906 NORTH GATE DRIVE		OPELIKA	AL	36801
8	ROBERT & AMBER BOOTHE	43-09-01-01-2-000-061.044	6962	1904 NORTH GATE DRIVE		OPELIKA	AL	36801
9	JACIE & CHASE ANTHONY	43-09-01-01-2-000-061.043	10904	1902 NORTH GATE DRIVE		OPELIKA	AL	36801
10	DONALD & JOYCE BRYAN	43-09-01-01-2-000-061.042	12844	1900 NORTH GATE DRIVE		OPELIKA	AL	36801
11	MARIANNE & JEFFREY SASSER	43-09-01-01-2-000-061.041	35732	1808 NORTH GATE DRIVE		OPELIKA	AL	36801
12	BOBBY & ROXANNE NIX	43-09-01-01-2-000-061.040	27076	1806 NORTH GATE DRIVE		OPELIKA	AL	36801
13	MICHAEL & REBECCA GASTON	43-09-01-01-2-000-061.039	3839	1804 NORTH GATE DRIVE		OPELIKA	AL	36801
14	CRAIG & ALESHIA WALKER	43-09-01-01-2-000-061.020	8163	1802 NORTH GATE DRIVE		OPELIKA	AL	36801
15	JOHN & ANGELIA PATRICK	43-09-01-01-2-000-061.003	24156	1800 NORTH GATE DRIVE		OPELIKA	AL	36801
16	ILR PROPERTIES LLC	43-09-01-01-2-000-061.002	35481	1704 NORTH GATE DRIVE	1417 DEER TRACT ROAD	OPELIKA	AL	36804
17	MICHAEL & ALLISON WILLIAMS	43-09-01-01-2-000-061.001	20088	1702 NORTH GATE DRIVE		OPELIKA	AL	36801
18	KYLE MICHAEL KING & LEE MANN	43-09-01-01-2-000-058.000	39122	1710 OAK BOWERY ROAD		OPELIKA	AL	36801
19	JOHN E & JOSEPHINE NEWLAND	43-09-01-01-2-000-059.000	30181	1708 OAK BOWERY ROAD		OPELIKA	AL	36801

1. THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN > 5,000' (FEET), AND AN ANGULAR ERROR OF 0.32" (INCHES) PER ANGLE POINT, AND WAS ADJUSTED USING A LEAST SQUARES METHOD.
2. THE FOLLOWING TYPE OF EQUIPMENT WAS USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS USED IN THE PREPARATION OF THIS PLAT: TOPCON GT-303, TOPCON FC-6000S DATA COLLECTOR & TOPCON HIPER VR G3S.
3. FIELD WORK COMPLETED MAY 22, 2023.
4. TRACT 3 HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 454,037 FEET.
5. HAVE EXAMINED THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR LEE COUNTY, ALABAMA AND INCORPORATED AREAS: COMMUNITY PANEL NUMBER 0108100087G, EFFECTIVE DATE NOVEMBER 2, 2011 AND FOUND NO PORTIONS OF THE PROPERTY SHOWN HEREON TO FALL WITHIN A DESIGNATED FLOOD ZONE.
6. ALL PROPERTY CORNERS REFERENCED AS "SPS" INDICATES A 12" BARRIER WITH A YELLOW PLASTIC CAP STAMPED "30AY 2501 1/30/99" UNLESS OTHERWISE NOTED.
7. THIS PLAT IS FOR THE EXCLUSIVE USE OF THE ENTITIES SHOWN HEREON, ANY USE BY THIRD PARTIES IS AT THEIR OWN RISK.
8. ALL DISTANCES AS SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET (39.37 INCHES = 1 METER).
9. PROPERTY HAS ACCESS TO PUBLIC RIGHT-OF-WAY:
 - OHK BOVDENY ROAD
 - BRIARWOOD LANE
10. THE PURPOSE OF THIS PLAT IS TO DIVIDE 26.059 ACRES INTO 46 LOTS.
11. ALL LOTS IN THIS SUBDIVISION SHALL BE SUBJECT TO, HOLD AND SHALL BE HELD, CONVEYED,



UTILITY EASEMENT STATEMENT

AN EASEMENT IS HEREBY GRANTED TO THE CITY OF OPELIKA AND TO ANY UTILITY COMPANIES SERVING THE CITY OF OPELIKA FOR THE PURPOSE OF INSTALLING, OPERATING AND MAINTAINING POLE LINES, GUY WIRES AND OTHER FACILITIES. EASEMENT TO BE TEN (10) FEET WIDE AND SHALL BE CENTERED ALONG THE FRONT AND SIDE LOT LINES OF EACH LOT.

(I/WE), _____, THE OWNER(S) OF SAID LANDS SURVEYED BY **HARRIS GRAY, LLC**, DO HEREBY CERTIFY THAT TITLE WAS AND IS VESTED IN SAID OWNER(S) AND JOIN IN THE FOREGOING STATEMENT MADE BY SAID **HARRIS GRAY, LLC**, AND AS STATED IN CODE OF ALABAMA 1976, § 35-2-50 ET SEQ., DO HEREBY CERTIFY THAT IT WAS AND IS MY (OUR) INTENTION TO DIVIDE SAID LANDS INTO LOTS AS SHOWN BY SAID PLAT AND DO HEREBY DEDICATE, GRANT, AND CONVEY FOR PUBLIC USE THE STREETS, ALLEYS AND PUBLIC GROUNDS AS SHOWN ON SAID PLAT.

SIGNED AND SEALED IN THE PRESENCE OF:

MM DEVELOPMENT, LLC, REPRESENTATIVE

STATE OF _____
COUNTY OF _____

I, _____, NOTARY PUBLIC IN AND FOR SAID COUNTY, IN SAID STATE, HEREBY CERTIFY THAT _____, WHOSE NAME IS SIGNED TO THE FOREGOING INSTRUMENT, AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT, BEING INFORMED OF THE CONTENT OF THE INSTRUMENT, EXECUTED THE SAME VOLUNTARILY.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, 2024.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

1. PLAT OF SURVEY FOR NORTH GATE SUBDIVISION, PREPARED BY T. RICHARD FULLER, DATED AUGUST 31, 1971, AS RECORDED IN PLAT BOOK 8, PAGE 72, IN THE OFFICE OF THE JUDGE OF PROBATE OF LEE COUNTY, ALABAMA.
2. PLAT OF SURVEY FOR NORTH GATE SUBDIVISION, THIRD ADDITION, PREPARED BY T. RICHARD FULLER, AS RECORDED IN PLAT BOOK 9, PAGE 18, IN THE OFFICE OF THE JUDGE OF PROBATE OF LEE COUNTY, ALABAMA.
3. PLAT OF SURVEY FOR NORTH GATE SUBDIVISION, FOURTH ADDITION, PREPARED BY T. RICHARD FULLER, DATED MAY 18, 1976, AS RECORDED IN PLAT BOOK 10, PAGE 18, IN THE OFFICE OF THE JUDGE OF PROBATE OF LEE COUNTY, ALABAMA.
4. PLAT OF SURVEY FOR NORTH GATE SUBDIVISION, FIFTH ADDITION, PREPARED BY T. RICHARD FULLER, DATED OCTOBER 10, 1983, AS RECORDED IN PLAT BOOK 11, PAGE 67, IN THE OFFICE OF THE JUDGE OF PROBATE OF LEE COUNTY, ALABAMA.
5. PLAT OF SURVEY FOR NORTH GATE SUBDIVISION, SIXTH ADDITION, PREPARED BY T. RICHARD FULLER, DATED JANUARY 9, 1987, AS RECORDED IN PLAT BOOK 13, PAGE 16, IN THE OFFICE OF THE JUDGE OF PROBATE OF LEE COUNTY, ALABAMA.
6. PLAT OF SURVEY FOR CANNON GATE SUBDIVISION, REDIVISION OF PARCEL A, PREPARED BY PRECISION SURVEYING, DATED SEPTEMBER 9, 2007, AS RECORDED IN PLAT BOOK 29, PAGE 187, IN THE OFFICE OF THE JUDGE OF PROBATE OF LEE COUNTY, ALABAMA.
7. PLAT OF SURVEY FOR CANNON GATE SUBDIVISION, REDIVISION OF PARCEL B, PHASE 1, PREPARED BY PRECISION SURVEYING, DATED AUGUST 28, 2015, AS RECORDED IN PLAT BOOK 42, PAGE 167, IN THE OFFICE OF THE JUDGE OF PROBATE OF LEE COUNTY, ALABAMA.
8. PLAT OF SURVEY FOR CANNON GATE SUBDIVISION, REDIVISION OF PARCEL B, PHASE 2, PREPARED BY PRECISION SURVEYING, DATED OCTOBER 11, 2016, AS RECORDED IN PLAT BOOK 46, PAGE 16, IN THE OFFICE OF THE JUDGE OF PROBATE OF LEE COUNTY, ALABAMA.
9. ADMINISTRATIVE SUBDIVISION PLAT FOR PROPERTY OF JOHN ROBERT DUDLEY AND CAROLYN PRINCE DUDLEY, DATED MAY 22, 2023, BEING RECORDED IN PLAT BOOK 48, PAGE 159, IN THE OFFICE OF THE JUDGE OF PROBATE OF LEE COUNTY, ALABAMA.

ACCEPTED BY THE OPELIKA PUBLIC WORKS DEPARTMENT, OPELIKA, ALABAMA:

PUBLIC WORKS DIRECTOR: _____ DATE: _____

APPROVED BY THE OPELIKA CITY PLANNER, OPELIKA, ALABAMA:

CITY PLANNER: _____ DATE: _____

APPROVED BY THE OPELIKA CITY PLANNING COMMISSION, OPELIKA, ALABAMA:

CHAIRMAN: _____ DATE: _____

APPROVED BY THE OPELIKA CITY ENGINEER, OPELIKA, ALABAMA:

CITY ENGINEER: _____ DATE: _____

APPROVED BY THE OPELIKA WATER BOARD, OPELIKA, ALABAMA:

OPELIKA UTILITIES: _____ DATE: _____

APPROVED ON BEHALF OF OPELIKA POWER SERVICES, OPELIKA, ALABAMA:

OPELIKA LIGHT AND POWER: _____ DATE: _____

I, **B. SHAWN GRAY**, A REGISTERED LAND SURVEYOR IN THE STATE OF ALABAMA, HEREBY DECLARE THAT THIS **PLAT OR MAP** IS A TRUE AND ACCURATE REPRESENTATION OF A SURVEY CONDUCTED UNDER MY DIRECTION. FURTHER, I CERTIFY THAT THERE IS NO VISIBLE ERROR OR OMISSION IN ANY INSTRUMENT, BUT ONLY THE FOLLOWING: **THE SHOWN BOUNDARIES ARE BASED ON SAID PROPERTY WITHIN THE BOUNDARIES ARE THE SAME. EXCEPT AS SHOWN, THERE ARE NO RIGHTS OF WAY OR EASEMENTS VISIBLE. IT IS SUBJECT TO ANY SUCH RIGHTS OF WAY AND EASEMENTS THAT MAY BE RECORDED OR UNRECORDED, OR JOINT DRIVE WAYS ON, OVER, OR ACROSS THIS PROPERTY, VISIBLE OR NOT RECORDED EXCEPT AS SHOWN ON THIS PLAT.**

I HEREBY CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ALABAMA SURVEYING BOARD. I AM NOT PROVIDING FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

B SHAWN GRAY, ALABAMA PLS #25217
sgray@harris-gray.com
HARRIS GRAY LLC
<https://harris-gray.com/>
824 THIRD AVE, WEST POINT, GEORGIA 31833
CERTIFICATE OF AUTHORIZATION NO. 1052 L

DATE	9/30/2024
DRAWN BY	RLW
CHKD BY	BSG
FIELD CREW	MP
FILE NAME	SP FINAL PH 1
JOB NO.	AL230145
DWG. SCALE	1" = 60'



SHT. 1 OF 1

City of Opelika
Planning Commission
Planning Department Report

Meeting Date: October 22, 2024

Subdivision: Phase 3 of Champion Square (Phase 1 & 2 - Villages of Opelika)

Agenda Item #: B-3

Action Requested: Final Approval

Location of Property: 3001 Hi-Pack Drive

Property Owner(s): Trust Homes-South Coast, LLC
Jacob Hill, Authorized representative

Current Land Use: Undeveloped

Current Zoning: PUD

Proposal

The applicant is requesting final plat approval for 54 lots in this third phase of the Village of Opelika PUD. The PUD is accessed from Hi-Pack Road on north side and Hammonds Drive will be extended to access the PUD from Hammonds Drive. The 54 lots are the same number of lots and same configuration when the master plan was approved at the November 2021 PC meeting. The final plat consists of 31 single family home lots, 21 townhome lots, a 23,160 square foot (sf) amenity lot, and 9,000 square feet (50'x 182') for a private street (Loblolly Lane). All single family home lots are accessed from Plainsman Loop (a new street constructed in phase 1 and 2). The 21 townhomes are accessed from the private street - Loblolly Lane.

The 31 single-family lots exceed the minimum 2,800 square foot lot size and 35 foot lot width. The lots range from 3,820 sf to 11,577 sf, but most lots (25 lots) are between 4,100 sf and 4,470 sf. Lot width for single family lots is at least 41 feet. The 21 townhome lots exceed the minimum 20 foot lot width and 1,100 sf lot size that was approved for this PUD. The townhome lots range from 1,628 sf to 3,568 sf.; lot widths 22 feet to 42 feet. Each single family home lot and townhome lot must have at least one tree planted in the front yard or planted in a location that the tree is seen from the right-of-way.

In the "Plat Notes", note #2, the amenity and open space lots are described: The use of Lot 106 (23,160 sf) labeled "amenity lot" and Lot 129 (2.84 acres) as "Green Field" is for the resident's

personal use or shared recreational use subject to by-laws of the Homeowners Association and the property owner. Lot 129 is also a 100' wide Alabama Power easement. The note includes that all open space and amenity lots are unbuildable.

Buffer areas are shown at the same widths as the minimum setback widths on all lots along front yards, rear yards and side yards along streets (Example:"15' Setback & Buffer"). The buffers along the north, south, and west perimeter lot lines are required Residential Buffers, but the buffer areas along streets and rear property line of townhome home lots are not identified with the type of plant material and/ or fencing that will be installed. The buffer areas shown on plat, range from 5 feet to 15 feet wide depending on location. At the November 2021 PC meeting, the buffers were recommended and approved with 1.5 times the required plantings.

Staff recommends approval of the final plat subject to the following conditions:

- 1. Sidewalks are required on both sides of street.**
- 2. All utilities underground.**
- 3. One large/canopy tree shall be installed for each house frontage either in the right-of-way between the sidewalk and the street curb with permission from the City of Opelika or in the front yard adjacent to the public right-of-way. The tree required must be included on the site plan that is submitted for setback review when a request for a building permit is provided.**
- 4. A landscape plan meeting the Landscape Regulations is required for each townhome group. The landscape plan must be submitted when a building permit is requested for a townhome group.**
- 5. Buffers labeled on plat need to be described on final plat and added on the site plan for each single family home lot or townhome group that is submitted for setback review when a request for a building permit is provided.**
- 6. No side yard on street setbacks along public right-of-way shall be less than six (6) feet.**
- 7. The buildings must match the architectural style and character of the renderings provided and approved at the November 2021 meeting.**
- 8. No vinyl or metal siding shall be used.**
- 9. All parking adjacent to the street shall be the responsibility of the developer or homeowners' association.**
- 10. Add the storm drain easements as shown on construction plans on Lots 39 to 45 (rear yard), Lot 121, 115, and Lots 122 to 128 (front yard).**

Engineering Department Report

The Engineering Department has been inspecting the construction and testing of the infrastructure in this subdivision. A Certification of Completion will be completed and signed by the Engineering and Public Works Directors as soon as all the infrastructure completion items below have been met and a positive recommendation for approval will be given:

- All drainage structures, aggregate base and pavement have been completed.
- All stop and roadway signs have been installed.
- Maintenance Bond of 25% of the infrastructure construction cost will need to be submitted.
- Performance Bond of 125% of the estimated cost to place the remaining roadway surface and sidewalks will need to be submitted.
- As-built documents of the roadway, and storm drain in the form of an Autocad and PDF digital file will need to be submitted to the Engineer Department. The required data should include location and elevations of all the inverts of the systems.
- The ROW and lots have been graded, and stabilized with seed and mulch, and other erosion/sediment control items have been added to protect against erosion and sediment issues.

The Engineering Department has no other comments or concerns with this proposed final plat

Opelika Water Board Report

Infrastructure must be inspected and accepted by Opelika Water before final plat can be approved. Gas main currently conflicts with water mains in this development.

Opelika Power Services Report

This addition is in Opelika Power Services and Alabama Power service territory.



600384-2024

AGENDA ITEM # 3

**APPLICATION FOR
SUBDIVISION APPROVAL**
PLANNING DEPARTMENT
700 FOX TRAIL
OPELIKA, AL 36801



DEADLINE: 10/11/24 MEETING: 10/22/24

SITE ADDRESS: Plainsman Loop

PROPERTY OWNER: Trust Homes - South Coast, LLC, PO Box 399 Winston, GA 30187

APPLICANT/AUTHORIZED REPRESENTATIVE: Michael Thomas, Sain Associates

MAILING ADDRESS: 2 Perimeter Park South, Suite 500E, Birmingham, AL 35243

PHONE NUMBER: 205-263-2181

FAX NUMBER:

EMAIL ADDRESS: mthomas@sain.com

TYPE OF PLAT APPROVAL REQUESTED

☐ SKETCH PLAN ☐ ADMINISTRATIVE ☐ PRELIMINARY ☒ FINAL ☐

Does the subdivision require any other official action by the City?

☐ Annexation

☐ Rezoning

☐ Other

PARCEL INFORMATION

Subdivision Name: Phase 3 of Champion Square

Current Land Use: Vacant

Current Zoning: PUD

Proposed use of the Subdivision: Residential

☒ Residential

☐ Commercial

☐ Manufacturing/Industrial

☐ Office/Institutional

Number of Lots: 54 x \$3.00 = \$162

Number of APO: 15 x \$7.00 = \$105
(Adjacent Property Owners)

Fee: \$75.00

TOTAL = 342.00

PAID

I, the undersigned, hereby request the Opelika Planning Commission review the Subdivision Plat for (name of subdivision) Phase 3 of Champion Square Subdivision. I understand that I must provide certain information as noted in Section 4.2, Section 4.3, and/or Section 4.4 of the Opelika Subdivision Regulations in order for the Planning Commission to review my plans. The City may require additional information or requirements, or waive certain requirements, at any time during the process. Failure to provide accurate and complete information may result in disapproval by the Planning Department and/or Planning Commission. This application, plat, and all other information are submitted with the full authorization and knowledge of the property owner(s). The undersigned below hereby swears to be the authorized applicant designated by the property owner(s) as representative or agent for the property owner(s) and therefore authorized to make said application and submit said documents on this request. The undersigned authorizes the City to inspect the subject property as necessary in reviewing the above referenced request.

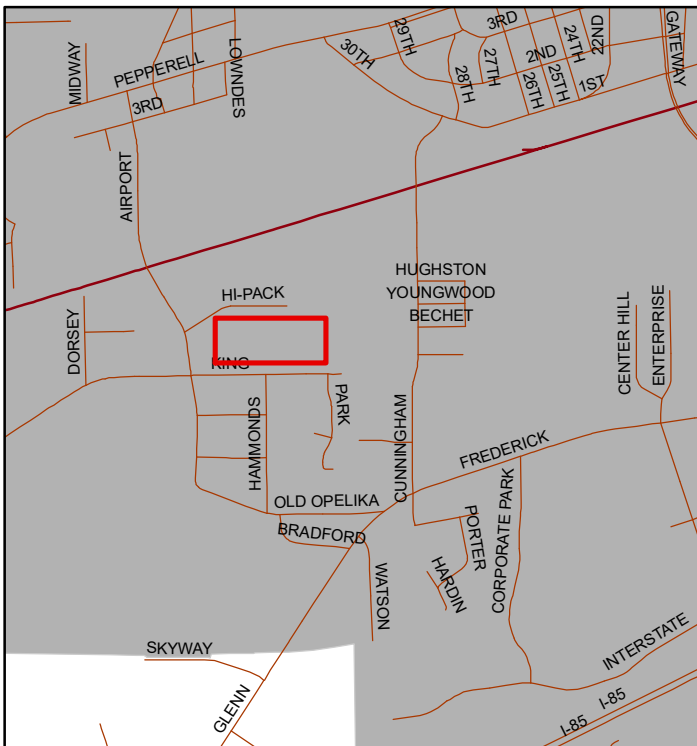
OWNERS/AUTHORIZED

REPRESENTATIVE SIGNATURE: Michael Thomas

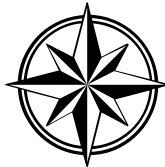
(PRINT NAME) Michael Thomas

DATE

PHASE 3 OF CHAMPION SQUARE SUBDIVISION PLAINSMAN LOOP FINAL APPROVAL, B-3



The applicant is requesting final plat approval for 54 lots in the Villages of Opelika PUD zoning district: 21 townhome lots, 31 single family home lots, and two open space lots.



Subject Property

The City of Opelika does not guarantee this map to be free from errors or inaccuracies. The City of Opelika, Alabama disclaims any responsibility or liability for interpretations from this map or decisions based thereon. The information contained on this map is a general representation only and is not to be used without verification by an independent professional qualified to verify such information.

GENERAL NOTES:

- 1.SOURCE OF RECORD INFORMATION USED: DEED BOOK 2571 AT PAGE 361, AND PLAT BOOK 10 AT PAGE 134 RECORDED IN THE OFFICE OF THE JUDGE OF PROBATE IN LEE COUNTY, ALABAMA.
- 2.NORTH DERIVED FROM RTK GPS SESSION, NAD83 AL EAST ZONE.
- 3.NO PORTION OF THIS PARCEL LIES WITHIN A SPECIAL FLOOD HAZARD AREA ACCORDING TO FEMA FIRM MAP NUMBERS 01081C0068G AND 01081C0206G, DATED NOVEMBER 2, 2011.
- 4.AN EASEMENT IS HEREBY GRANTED TO THE CITY OF OPELIKA AND ANY UTILITY COMPANY SERVING THE CITY OF OPELIKA FOR THE PURPOSE OF INSTALLING, OPERATING, AND MAINTAINING POLES, LINES, GUY WIRES, AND OTHER FACILITIES. TOTAL EASEMENT WIDTH IS TEN (10) FEET WITH FIVE (5) FEET ON EACH SIDE OF THE FRONT AND SIDE LOT LINES.
- 5.THERE MAY BE MATTERS OF RECORD, SUCH AS CONVEYANCES, EASEMENTS, RIGHTS-OF-WAY, ETC. THAT MAY AFFECT THE TITLE TO THE SUBJECT PROPERTY WHICH ARE NOT KNOWN TO THE SURVEYOR AND NOT DISCLOSED BY THIS PLAT.
- 6.EXISTING EASEMENT LOCATIONS SHOWN ARE BASED ON AN ALTA/NSPS LAND TITLE SURVEY PREPARED BY JAMES D. MILLER, PLS NO. 17256, DATED JUNE 6, 2019 FOR SOUTHSIDE CORP., LLC., HI PACK QOZB I, LLC., HILLSTONE OPPORTUNITY ZONE FUND I, LLC., AND HILLSTONE ADVANTAGE PARTNERS, LLC.

CENTERLINE CURVE TABLE					
CURVE	DELTA	LENGTH	RADIUS	CHORD	DISTANCE
CL1	98°59'27"	95.02	55.00	S 41°00'01"E	83.64
CL2	81°03'02"	77.80	55.00	N 49°01'14"E	71.48

PARCEL A
TAX ID: 09 05 22 1 000 001.000
PACKAGING CORPORATION OF AMERICA
303 EAST EACKER DRIVE, SUITE 1040
CHICAGO, IL 60601

HIPACK PARK

PARCEL C
TAX ID: 09 05 22 1 000 001.002
HI PACK QOZB I, LLC
923 ENDICOTT ST
CHATTANOOGA, TN 37405

NORTHEAST CORNER
OF SECTION 22,
TOWNSHIP 19 NORTH,
RANGE 26 EAST
LEE CO., OPELIKA, ALABAMA

LOT CURVE TABLE					
CURVE	DELTA	LENGTH	RADIUS	CHORD	DISTANCE
C9	90°01'28"	15.71	10.00	N 45°31'52" W	14.15
C10	20°44'59"	18.11	50.00	N 89°41'13" W	18.01
C11	33°26'37"	29.18	50.00	N 62°35'29" W	28.77
C12	38°52'09"	33.92	50.00	N 26°26'06" W	33.27
C13	24°23'14"	21.28	50.00	N 05°11'35" E	21.12
C14	98°56'58"	43.17	25.00	N 40°58'46" W	38.01
C15	81°03'02"	35.36	25.00	N 49°01'14" W	32.49
C16	05°14'09"	4.57	50.00	N 19°07'59" W	4.57
C17	37°46'07"	32.96	50.00	N 02°22'09" E	32.37
C18	38°46'41"	33.84	50.00	N 40°38'32" E	33.20
C19	31°34'21"	27.55	50.00	N 75°49'03" E	27.20
C20	28°11'19"	24.60	50.00	S 74°18'08" E	24.35

LEGEND
D - DRAINAGE EASEMENT
U - UTILITY EASEMENT
A - ACCESS EASEMENT
○ SET 5/8" REBAR WITH
SAIN CAP(CA00279)

60 30 0 60 120 180
SCALE IN FEET
1" = 60'

SURVEYOR

SAIN
ASSOCIATES

CONTACT INFORMATION:
Michael Thomas, PLS
Alabama Reg. No. 33673
Phone: (205) 940-6420
E-mail: mthomas@sain.com
SAIN ASSOCIATES, INC.
Two Perimeter Park South
Suite 500 East
Birmingham, Alabama 35243



VICINITY MAP

LEGEND

--- EASEMENT LINE
--- BUFFER LINE
--- SETBACK LINE

LOT MUNBER S.F.

LOT NUMBER	LOT AREA	LOT NUMBER	LOT AREA	LOT NUMBER	LOT AREA
15	4469	33	5805	111	1924
16	4469	34	11193	112	1628
17	4469	35	11577	113	2368
18	4469	36	4105	114	9105
19	4469	37	4551	115	2368
20	4469	38	4551	116	1628
21	4469	39	4551	117	1628
22	4469	40	4551	118	1924
23	4469	41	4551	119	1924
24	4469	42	4551	120	1628
25	3820	43	4551	121	2381
26	6927	44	4551	122	3568
27	8111	45	4646	123	2186
28	4911	106	23160	124	2034
29	4342	107	2366	125	2033
30	4346	108	1628	126	1957
31	4346	109	1628	127	1881
32	4346	110	1924	128	2831

HOUSE SETBACKS:

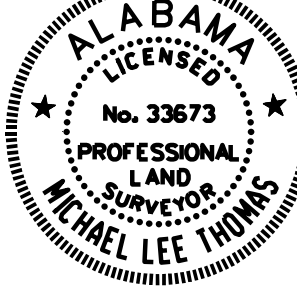
- FRONT SETBACKS - 15'
SIDE SETBACKS - 5'
SIDE SETBACK ABUTTING A STREET - 6'
REAR SETBACKS - 10'

TOWNHOME SETBACKS

- FRONT SETBACKS - 15'
SIDE SETBACKS - 0'
REAR SETBACKS - 10'

PLAT NOTES:

1. ONE LARGE CANOPY TREE SHALL BE INSTALLED FOR EACH HOUSE FRONTAGE OR PLANTED BETWEEN SIDEWALK AND STREET CURB WITH CITY OF OPELIKA PERMISSION.
2. ALL OPEN SPACES, AMENITY AREAS AND LOT 130 ARE UNBUILDABLE AND SHALL BE USED EXCLUSIVELY BY THE RESIDENTS OR OWNER OF THE SUBDIVISION FOR PERSONAL OR SHARED RECREATIONAL AND SOCIAL PURPOSES SUBJECT TO THE BY-LAWS OF THE HOMEOWNERS' ASSOCIATION AND/OR THE OWNERS.
3. PROVIDE SIDEWALKS ON BOTH SIDES OF STREET ADJOINING AN AMENITY OR RESIDENCE.



SURVEYOR'S CERTIFICATE

I, MICHAEL LEE THOMAS, A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF ALABAMA, HEREBY CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

SEPTEMBER 23, 2014

Michael Lee Thomas
MICHAEL LEE THOMAS (PLS NO. 33673)
(NOT VALID WITHOUT SURVEYOR'S SEAL AND SIGNATURE)

DEDICATION

I, _____, AS OWNER OF THE REAL PROPERTY SHOWN ON THIS PLAT, HEREBY JOIN IN THE STATEMENT OF MICHAEL LEE THOMAS, AND CERTIFY THAT IT WAS AND IS MY PURPOSE TO DIVIDE THE LAND SO PLATTED INTO LOTS AS SHOWN.

OWNER NAME _____

DATE _____

ACKNOWLEDGEMENT

I, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR SAID COUNTY IN SAID STATE, HEREBY CERTIFY THAT _____ WHOSE NAME IS SIGNED TO THE FOREGOING INSTRUMENT, AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DATE THAT BEING INFORMED OF THE CONTENTS OF THE INSTRUMENT EXECUTED THE SAME VOLUNTARILY ON THE DAY THE SAME BEARS DATE.

NOTARY PUBLIC _____

DATE _____

MY COMMISSION EXPIRES: _____

REVIEWED ON BEHALF OF OPELIKA POWER SERVICES,
OPELIKA, LEE COUNTY, ALABAMA.

OPELIKA POWER SERVICES _____ DATE _____

REVIEWED ON BEHALF OF THE UTILITIES BOARD OF
THE CITY OF OPELIKA, LEE COUNTY, ALABAMA.

UTILITIES BOARD, CITY OF OPELIKA _____ DATE _____

APPROVED BY THE PUBLIC WORKS DEPARTMENT OF
THE CITY OF OPELIKA, LEE COUNTY, ALABAMA.

PUBLIC WORKS DIRECTOR _____ DATE _____

APPROVED BY THE OPELIKA CITY PLANNER:

PLANNER _____ DATE _____

APPROVED BY THE OPELIKA CITY ENGINEER:

ENGINEER _____ DATE _____

APPROVED BY THE OPELIKA PLANNING COMMISSION:

CHAIRMAN _____ DATE _____

PRELIMINARY PLAT
PHASE 3 OF
CHAMPION SQUARE

situated in
Northeast corner
of the Northeast quarter
of Section 22,
Township 19 North,
Range 26 East
Lee Co., Opelika, Alabama

Prepared by
Sain Associates
Two Perimeter Park South
Suite 500 East
Birmingham, Alabama 35243
Phone: (205) 940-6420
Website: www.sain.com
Date: September 23, 2024

City of Opelika
Planning Commission
Planning Department Report

Meeting Date: October 22, 2024

Agenda Item #: C-4

Action Requested: Conditional Use – Athletic Field and Gymnasium for Trinity Christian School

Location of Property: Calhoun Drive, McLure Avenue and Renfro Avenue

Property Owner(s): Trinity Presbyterian Church, owners
John Randall Wilson, authorized representative

Current Land Use: Undeveloped

Current Zoning: R-2

**Surrounding Zoning Districts
And Land Uses:**

North	R-2	Single-family homes
South	C-2	Townhomes
East	I-1 & R-5	Tennis Center and Single-family homes
West	R-2	Single-family homes

Proposal

The applicant is requesting conditional use approval for recreational field and gymnasium for Trinity Christian School in an R-2 zoning district. Private school uses are allowed in all zoning districts with conditional use approval. The proposed property is 16.08 acres located between the Opelika Tennis Center and Collinwood neighborhood and accessed from Calhoun Drive, McLure Avenue and Renfro Avenue. The school operates five days a week Monday-Friday with sports activities during school and likely after hours.

The site plan shows a 25,440-sf gymnasium, and a high school baseball field with batting cages, bleachers and restrooms. The parking is shared new parking areas and shared existing parking areas with the Opelika Tennis Center. Based on estimated approximate occupancy of 400 patrons total parking for the gym and baseball field are one (1) parking space per four (4) patrons is 100 parking spaces required plus staff parking and handicap accessible parking. Total parking provided on the site plan shared by three recreational types is 204. The final parking spaces required must meet the occupancies and zoning ordinances requirements.

The site plan does not include a landscape plan at this time. Most of the 16.08 acres is currently forested, tree-covered property. A landscape plan is required to meet all the zoning ordinance requirements and conditions applied. Staff would like to encourage the applicants to preserve all

possible existing trees to provide natural undisturbed buffers to nearby residential properties. The applicants should preserve at minimum a 25 natural undisturbed residential buffer of trees along the east property line to shield the existing homes from noise and lighting along W. Collinwood Circle and the entrance from Renfro Avenue. Additional landscape islands will be required in the parking areas on the landscape plan as required by the zoning ordinance. If the entire site is developed as 16.08 acres, 1421 landscape points will be required with 167 new parking spaces adding 167 parking lot landscaping points. The authorized applicant stated the grade of the baseball field and gymnasium will likely be similar to the tennis courts elevations. The landscape plan is required to show the minimum base points, parking lot points, buffers added, buffers undisturbed, and planting names and sizes based on the Landscape Regulations Section 10 in the Zoning Ordinance.

The exterior of the gymnasium or bathroom structures are not provided at this time. The exterior materials of the gymnasium and bathroom structures shall meet the Gateway Corridor exterior material requirements in Section 7.6, 6. b. due to the need to be sensitive to the existing residential homes that will be adjacent to this recreation facility. All equipment and mechanical must be screened to meet the Gateway Corridor Section 7.6, 6., d.

The authorized applicant does not believe outdoor lighting will be added in the initial phase of completion. If and when outside lighting is added it must be directed or shielded so that light is controlled and not spilling over to adjacent properties creating a negative impact to surrounding residential homes. A photometric plan must be provided to show lighting must not exceed one footcandle measured from a property line adjacent to a residential zoned property.

Staff recommends approval subject to the following conditions:

1. Provide a landscape plan providing base points & parking lot points required and obtained and add the type of residential buffer adjacent to the R-2 and R-5 zones.
2. A photometric plan must be provided to show lighting must not exceed one footcandle measured from a property line adjacent to a residential zoned property at such time lights are added.
3. All equipment and mechanical must be screened to meet the Gateway Corridor Section 7.6, 6., d.
4. Any exterior speakers shall be oriented away from residential properties to the greatest extent possible.

Engineering Department Report

The City is working on an agreement with the church for the donation of the property adjacent to McLure Avenue. This agreement will state that the City will construct an extension of Gwin Mill Drive past the tennis courts and to the property line . The City is also planning on upgrading and dedicating the existing Calhoun Drive and installing a multiuse path on both roadways.

Engineering has no other comments or concerns regarding the proposed Conditional Use approval.

Opelika Water Board Report

Water (6" Main) is available from McLure Avenue and Renfro Avenue. It is likely required that connections be made at both locations to provide adequate fire protection to gymnasium.

Opelika Power Services Report

This subdivision is in Opelika Power Services territory.

000391-2024

AGENDA ITEM #

4



**APPLICATION FOR
CONDITIONAL USE APPROVAL**
PLANNING DEPARTMENT
700 FOX TRAIL
OPELIKA, AL 36801

PC DEADLINE: 10-1-24 PC MEETING: 10-22-24SITE ADDRESS: UnknownPROPERTY OWNER: Trinity Presbyterian ChurchAPPLICANT/ AUTHORIZED REPRESENTATIVE: John Randall WilsonMAILING ADDRESS: 900 Janet DrivePHONE NUMBER: 334-332-3322

FAX NUMBER: _____

EMAIL ADDRESS: jrwarehitect@yahoo.com**PARCEL INFORMATION**Project name: Trinity Christain SchoolAddress/Location: McClure/RenfroCurrent Land Use: Vacant

Current Zoning: _____

Adjacent Zoning Districts: North: R-2 South: C-2, R-2 East: I-1 West: R-2Description of Proposed Use: Athletic Field and Gymnasium**AUTHORIZATION TO ACT AS APPLICANT** (if applicable)

I, Trinity Presbyterian Church c/o William Johnson, being owner of the property which is the subject of this conditional use application hereby authorize John Randall Wilson, to act as my representative before the City of Opelika's Planning Commission, and if necessary, represent me before the Board of Zoning Adjustments and City Council.

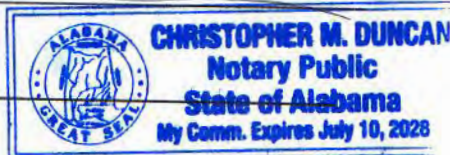
Property Owner's Signature: William Johnson Date: 10/1/2024**STATE OF ALABAMA,****COUNTY OF LEE**

I, Christopher M. Duncan, a Notary Public in and for said County and State, hereby certify that William Johnson, whose name is signed to the foregoing document, and who is known to me or acknowledged before me on this day, that being informed of the contents of said document, did execute the same voluntarily on the day that bears the same date.

Given my hand and seal of office this 1st day of October, 2024.

Notary Public

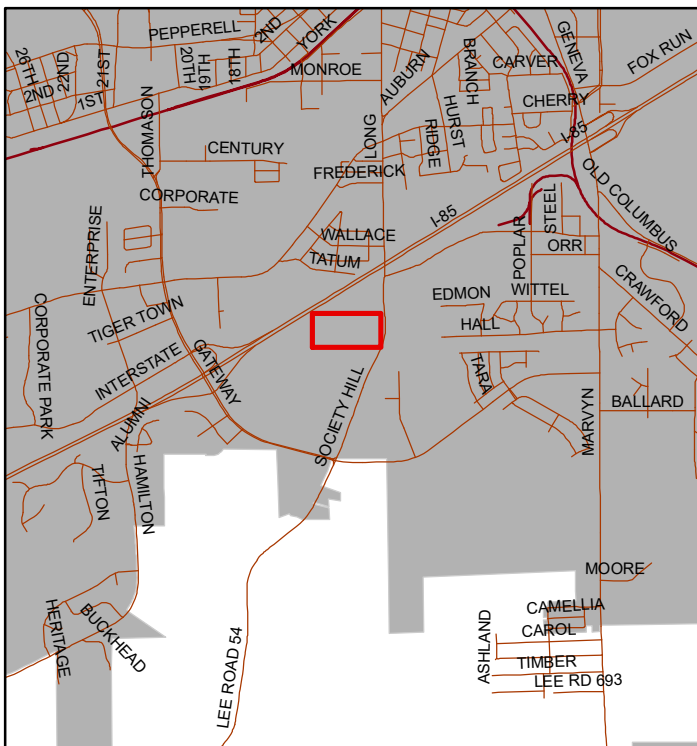
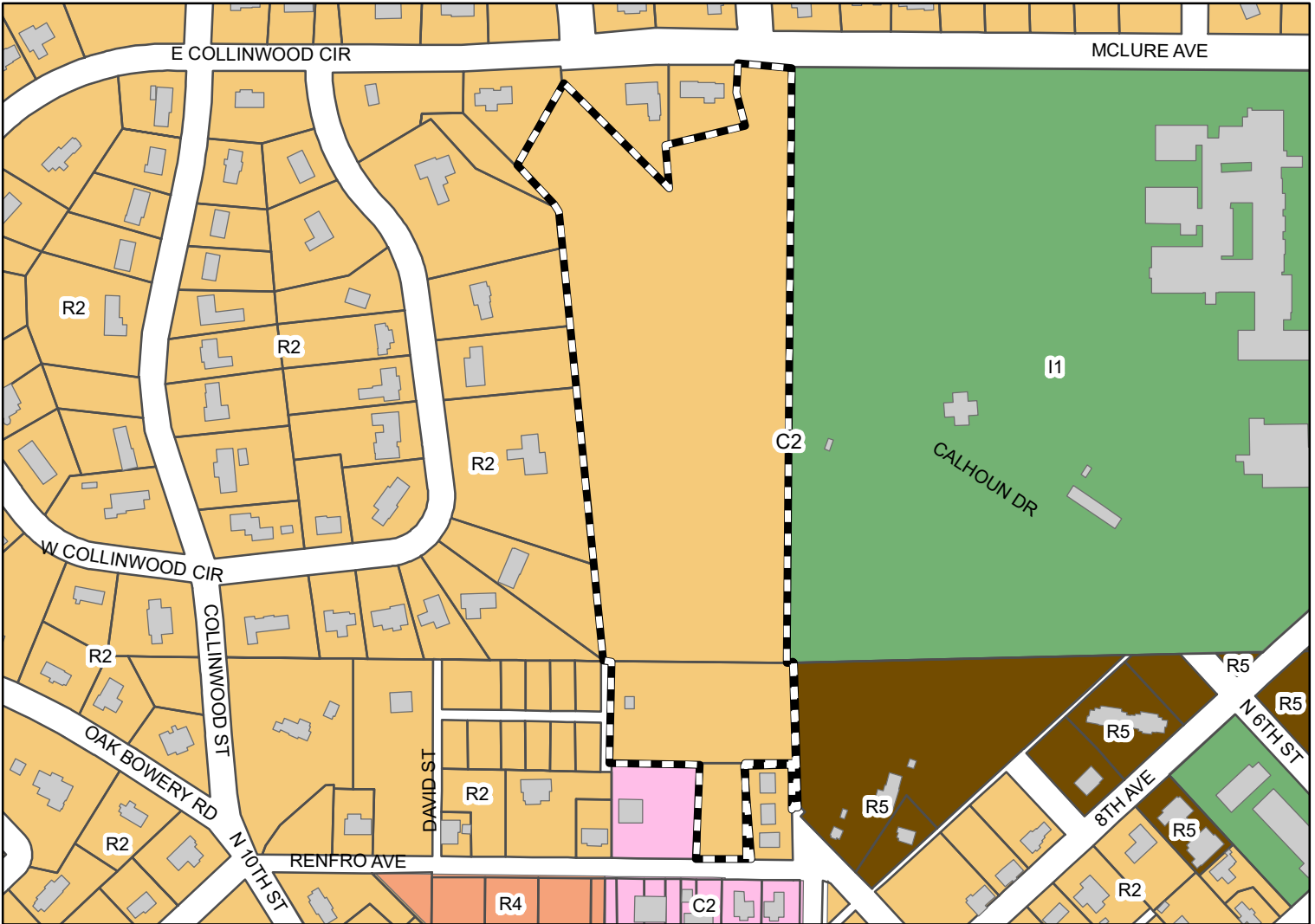
My Commission Expires: _____



TRINITY PRESBYTERIAN SCHOOL - GYM & BALLFIELD

CALHOUN DRIVE-MCLURE AVE-RENFRO AVE

CONDITIONAL USE, C-4

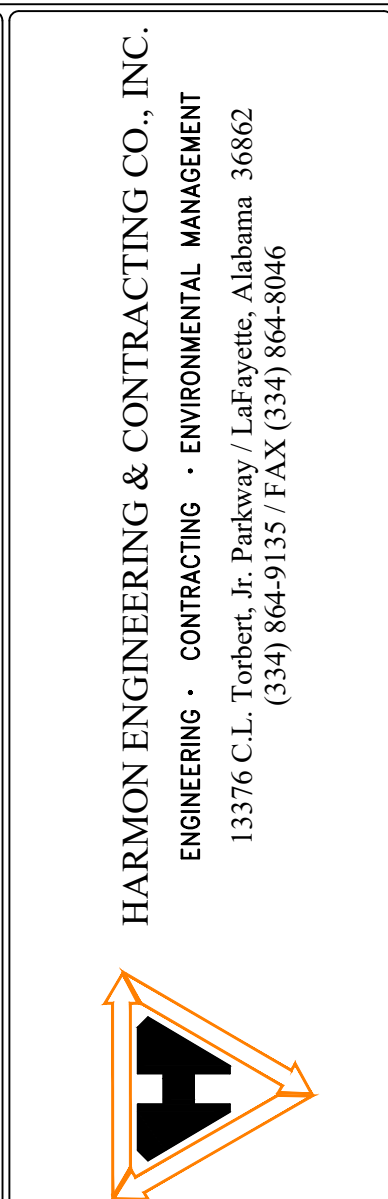


The applicant is requesting approval to construct a 25,440 sf gymnasium and baseball field (167 parking spaces total) for Trinity school. The facilities are accessed from Calhoun Drive, Renfro Avenue, and McLure Avenue. The property is zoned R-2.



Subject Property

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CONCEPTUAL SITE PLAN C
TPC SITE PLANNING

TRINITY PRESBYTERIAN CHURCH
OPELIKA, ALABAMA

DRAWN	<i>CDS</i>
CHECKED	<i>MAT</i>
FILENAME	DRIVE:\FOLDER\DRAWINGS
	DRAWING NAME.DWG
DATE	07 JUNE 2024
PROJECT	933-03-23
SCALE	1" = 60'-0"
FIGURE	C2.0

City of Opelika
Planning Commission
Planning Department Report

Meeting Date: October 22, 2024

Agenda Item #: B-5

Action Requested: Conditional Use – Four Townhome Units

Location of Property: 410 Geneva Street

Property Owner(s): Southside Opelika, LLC
Brandon Hays, authorized representative

Current Land Use: Undeveloped

Current Zoning: C-2, GC-S

**Surrounding Zoning Districts
And Land Uses:**

North	C-2, GC-S	Single family home
South	C-2, GC-S	Single family home
East	C-2	Single family home
West	C-2, GC-S	Single family home

Proposal

The applicant is requesting conditional use approval for four townhomes units on separate lots in a C-2, GC-S zoning district; the property is in the Geneva Street Historic District. The site plan shows the townhome units on Lot 3 and Lot 4 share a common wall and side property line, and the townhomes on Lots 1 and 2 share a common wall and property line. The four townhome units will share a gravel driveway (20' access easement) that straddles over Lot 2 and Lot 3 (easement is 10 feet on each lot). A two-car garage for each townhome unit is in the rear yard.

Two townhome units are 1,200 square feet each and two units 1,400 sf. The townhome units will be sold fee-simple and include front and rear yard space. A subdivision for the four townhome lots will be submitted at a future time.

In the C-2 zoning district a maximum of 16 dwelling units per acre are allowed. Total property area of the four townhome lots is one acre. Density is 4 dwellings per acre.

The Townhome Development Standards require a minimum 20 foot lot width and 1,800 lot size for a townhome unit. The townhome lots are 21' wide and lot area ranges from 4,303 sf to 4,745 sf. The yard area of each townhome lots exceeds 50% of the first floor area as required.

The R-5 minimum setback standards (25' front yard, 20' rear, 10' side) apply for residential developments in a commercial zoning district. On the site plan, the four townhome units meet the minimum side and rear setback, but not the front setback along Geneva Street. The minimum front setback is 25 feet and the four townhomes are 20 feet from the front property line. For developments in the Gateway Corridor district, the Planning Commission is allowed to grant a setback variance when alternative access or a driveway is provided so access is not taken directly from the Gateway Corridor (Section 7.3 A. Note #6). In this case, the Gateway Corridor is South 10th Street and the four townhomes have access to Geneva Street not South 10th Street. The applicant is requesting a 5 foot front yard setback variance from the 25 foot front yard setback

At the October 10th meeting, the Historic Commission reviewed the architectural style and exterior materials of the four townhome units. The Commission determined the townhomes are compatible with the surrounding buildings, contributed to the Geneva Street Historic District, and approved the townhomes.

The landscape plan meets the minimum base points and parking lot points for the 18,295 sf disturbed area. All landscaping is along the front property line on Geneva Street; 6 trees and 13 shrubs are shown on plan.

Staff recommends conditional use approval subject to the following:

- 1. Approve a 5 foot variance from the minimum 25 foot front yard setback on Geneva Street. The approval allows the four townhomes to be 20 feet from the front property line.**

Engineering Department Report

Engineering has no comments or concerns regarding the proposed Conditional Use approval.

Opelika Water Board Report

Water is available from Geneva Street.

Opelika Power Services Report

This property is in Opelika Power Services territory.



**APPLICATION FOR
CONDITIONAL USE APPROVAL**
PLANNING DEPARTMENT
700 FOX TRAIL
OPELIKA, AL 36801



PC DEADLINE: 10/1/2024 PC MEETING: 10/22/2024

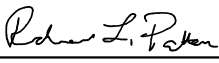
SITE ADDRESS: <u>410 Geneva Street</u>	
PROPERTY OWNER: <u>Southside Opelika LLC</u>	
APPLICANT/ AUTHORIZED REPRESENTATIVE: <u>Brandon Hays</u>	
MAILING ADDRESS: <u>1280 Moore's Mill Road, Suite 209</u>	
PHONE NUMBER: <u>205.568.0551</u>	FAX NUMBER: <u>none</u>
EMAIL ADDRESS: <u>brandon@hartbrookdev.com</u>	

PARCEL INFORMATION

Project name: 10th and Geneva Address/Location: 410 Geneva Street
Current Land Use: 11/22/24 Current Zoning: C-2
Adjacent Zoning Districts: North: C-2 South: C-2 East: C-2 West: C-2
Description of Proposed Use: Applicant propose 4 rear loaded townhome units located of Geneva Street with a proposed private gravel drive

AUTHORIZATION TO ACT AS APPLICANT (if applicable)

I, _____, being owner of the property which is the subject of this conditional use application hereby authorize Brandon Hays, to act as my representative before the City of Opelika's Planning Commission, and if necessary, represent me before the Board of Zoning Adjustments and City Council.

Property Owner's Signature:  Date: _____

**STATE OF ALABAMA,
COUNTY OF LEE**

I, _____, a Notary Public in and for said County and State, hereby certify that _____, whose name is signed to the foregoing document, and who is known to me or acknowledged before me on this day, that being informed of the contents of said document, did execute the same voluntarily on the day that bears the same date.

Given my hand and seal of office this ____ day of _____,

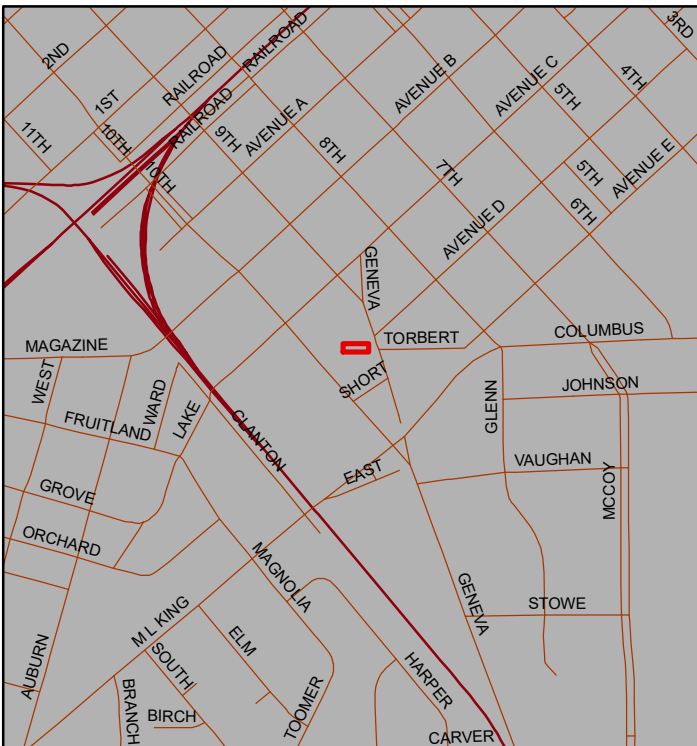
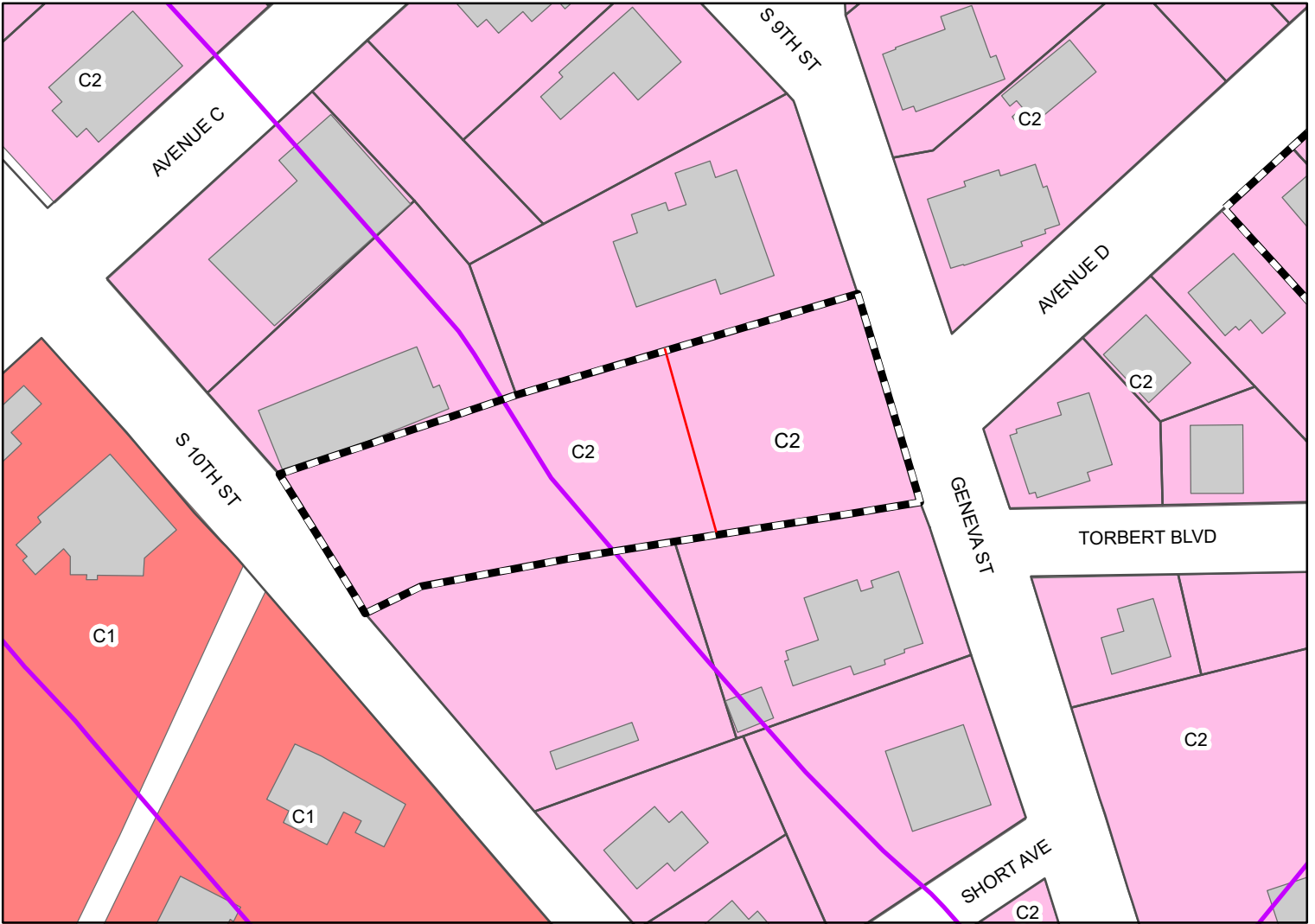
Notary Public

My Commission Expires: _____

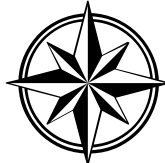
SOUTHSIDE OPELIKA LLC TOWNHOME UNITS

410 GENEVA STREET

CONDITIONAL USE, C-5

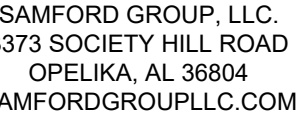


The applicant is requesting four townhome units accessed from a 60 foot access easement to Geneva Street. The property is zoned C-2, GC-S and located in the Geneva Street Historic district. .



Subject Property

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Parcel Area Table

Parcel #	Area
1	4745.82
2	4722.50
3	4722.50
4	4303.41

[illegible]

PROJECT
10TH & GENEVA STREET
410 GENEVA STREET
CITY OF OPELIKA, AL

WITHOUT WRITTEN CONSENT IS A VIOLATION OF COPYRIGHT LAWS.

SEAL:

Authorized By: Gregory H. Eiford Jr.
Alabama License Number: 53032

DESIGN TEAM:

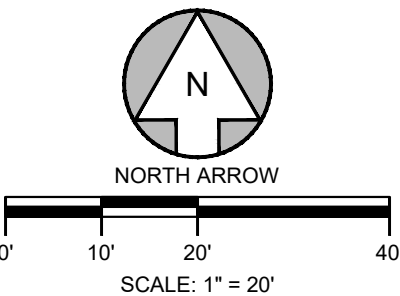
DRAWN BY: JM

DESIGNED BY: JM

REVIEWED BY: HE



SCALE & NORTH ARROW:



JOB NUMBER: 003

DATE: 09/26/2024

CONDITIONAL USE
SITE PLAN C-3.0

City of Opelika
Planning Commission
Planning Department Report

Meeting Date: October 22, 2024

Agenda Item #: C-6

Action Requested: Conditional Use – 124 detached Apartment Units

Location of Property: 20 Veterans Parkway

Property Owner(s): Terry McCollum
Lee Tharp-Kadre Engineering, authorized representative

Current Land Use: Undeveloped

Current Zoning: C-2, GC-P

Surrounding Zoning Districts

And Land Uses:	North	C-2, GC-P	Single family homes
	South	C-3, GC-P	Restaurant
	East	C-3, GC-P	Office-warehouses approved
	West	C-2, GC-P	Auburn city limits

The applicant is requesting conditional use approval for a 124 unit cottage-style apartment development on 21.95 acres. The development is about 500 feet north of the intersection of Pepperell Parkway and Veterans Parkway. The development includes a 3,500 sf restaurant located near the apartment entrance on Veteran Parkway. Auburn City limits border the property on the west side. The apartment amenities include a 1,980 square foot fitness facility, a 15x60 swimming pool, a 2,340 sf clubhouse & rental office, and a 1,050 sf Pet Spa/Maintenance building. The development is designed to appeal to students.

The 124 units consist of 88 detached apartment units and 36 attached units. A detached apartment is 10 to 13 feet from an adjacent detached apartment. The square footage of the 88 detached single units are 1,000 sf (3 bedroom (BR) or 1,284 sf (3 BR with garage parking).

The 36 attached units include four 2-unit apartments: each unit is 775 square feet with three bedrooms. There are six 4-unit apartments attached together: Two units are two bedroom and two units are three bedroom. The two bedroom units are 635 square feet; the three bedrooms are 780 sf. Apartment elevations and exterior materials are not provided at this writing.

In the C-2 zone, 16 dwelling units per acre are allowed. The proposed density for the 124 apartment units on 21.95 acres is 5.65 dwelling units per acre.

The 124 apartment units require 248 parking spaces (2 spaces per apartment units) and the 3,500 sf restaurant requires at least 35 parking spaces plus employees. A total of 286 parking spaces are required for apartments and restaurant. The site plan shows 38 parking spaces next to the restaurant and extra parking on private streets are nearby. The site plan has a total of 465 parking spaces: (121 covered garage spaces, 148 driveway spaces, 196 surface spaces (uncovered)).

An 18'x18' dumpster is shown for the restaurant. The dumpster must be screened on all sides with an opaque fence and gate. City services will provide garbage pick-up for the 124 apartment units.

The site plan shows a "20' Landscape Buffer" along Veterans Parkway on east side and the north and west property lines.¹ A detailed landscape plan with base points according to the disturbed area and parking lot points was not submitted.

Recommendation

The proposed apartments are adjacent to single homes on the north side. Across Veterans Parkway, office-warehouse tenant spaces have been approved and construction should start soon. Also, on Veterans Parkway and near the proposed apartments are mobile home lots and the entrance to mobile home parks (King's mobile home park and Midway Manor MHP). Staff believes the apartments with 20' landscape buffers will be compatible with the existing land use and not have an adverse effect on the surrounding area. Staff recommends approval with the following conditions.

1. Provide a landscape plan based on the Landscape Regulations with base and parking lot points and plant material for the 20' landscape buffers along the north, east, and west property lines. A Gateway Corridor buffer along the east property line (Veterans Parkway) is required. Plant evergreen trees/shrubs along the north property line adjacent to existing single family homes providing an impervious visual barrier.
2. The restaurant dumpster must be screened on all sides and gate with opaque material.
3. The apartment exterior materials and amenity buildings must meet cladding requirements as provided in Section 7.6 Gateway Corridor in Zoning Ordinance.

¹ A cell tower located near the west property line and accessed from Veterans Parkway occupies about 3 acres of the 21.95 acres apartment property along the south property line. The south property line area will remain wooded undisturbed. The proposed apartment development is at least 55 feet from the south property line.

Engineering Department Report

The applicant will be required to submit a site construction and grading plan for the drainage, utility, post construction detention, and roadway installation to the Engineering and Public Works Departments for review and approval. Once this approval and all other utility approvals have been met, a Land Disturbance Permit will be issued in concurrence with any applicable State and Federal Permits.

The applicants engineer will coordinate with the City Engineering to determine the needs of turn lanes in conjunction with future City projects on this roadway

Engineering has no other comments or concerns regarding the proposed Conditional Use approval.

Opelika Water Board Report

Water is available from Veteran's Parkway. There is also a 12" water main that parallels the northern Power Line ROW near the south side of this development. We are unable to tell from this conceptual plan, but the 12" main could be on south edge of this development.

Opelika Power Services Report

This property is in Opelika Power Services territory.



**APPLICATION FOR
CONDITIONAL USE APPROVAL**
PLANNING DEPARTMENT
700 FOX TRAIL
OPELIKA, AL 36801



PC DEADLINE: 10/01/2024 PC MEETING: 10/22/2024

SITE ADDRESS: 0 Veterans Parkway - Parcel #0905153000007000

PROPERTY OWNER: Terry McCollum

APPLICANT/ AUTHORIZED REPRESENTATIVE: Lee Tharp - Kadre Engineering

MAILING ADDRESS: PO Box 101205 Irondale, AL 35210

PHONE NUMBER: 334-315-0239

FAX NUMBER: _____

EMAIL ADDRESS: ltharp@kadre-eng.com

PARCEL INFORMATION

Project name: Veterans Parkway Mixed-Use Address/Location: 0 Veterans Parkway

Current Land Use: vacant/undeveloped

Current Zoning: C2

Adjacent Zoning Districts: North: C2 South: C3 East: C3 West: Auburn

Description of Proposed Use: Low-density (5.64 DU/AC), class A+ cottage-style multifamily community as a conditional use under the existing C-2 zoning district.

AUTHORIZATION TO ACT AS APPLICANT (if applicable)

I, Terry McCollum, being owner of the property which is the subject of this conditional use application hereby authorize Lee Tharp, Kadre Engineering to act as my representative before the City of Opelika's Planning Commission, and if necessary, represent me before the Board of Zoning Adjustments and City Council.

Property Owner's Signature: Terry McCollum

Date: Oct. 1, 2024

STATE OF ALABAMA,

COUNTY OF LEE

I, Morgan M. Duett, a Notary Public in and for said County and State, hereby certify that Terry McCollum, whose name is signed to the foregoing document, and who is known to me or acknowledged before me on this day, that being informed of the contents of said document, did execute the same voluntarily on the day that bears the same date.

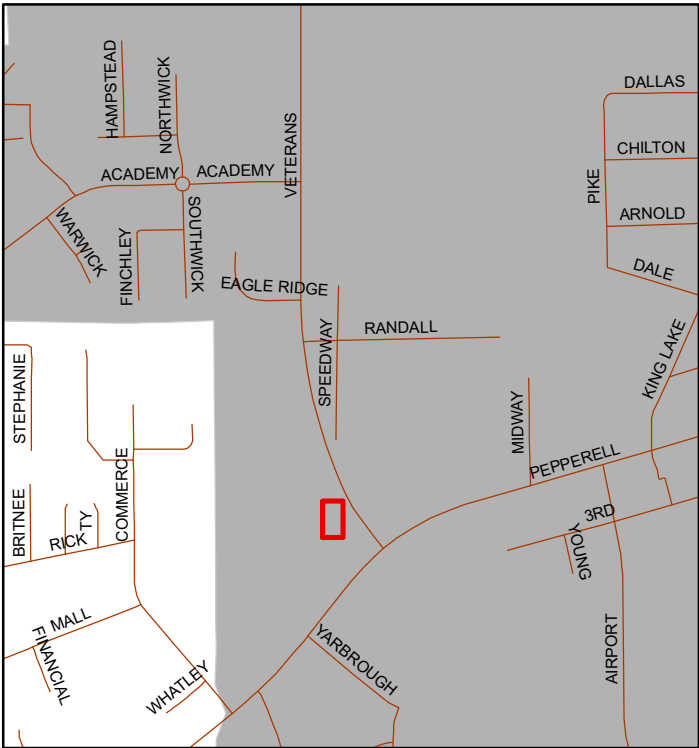
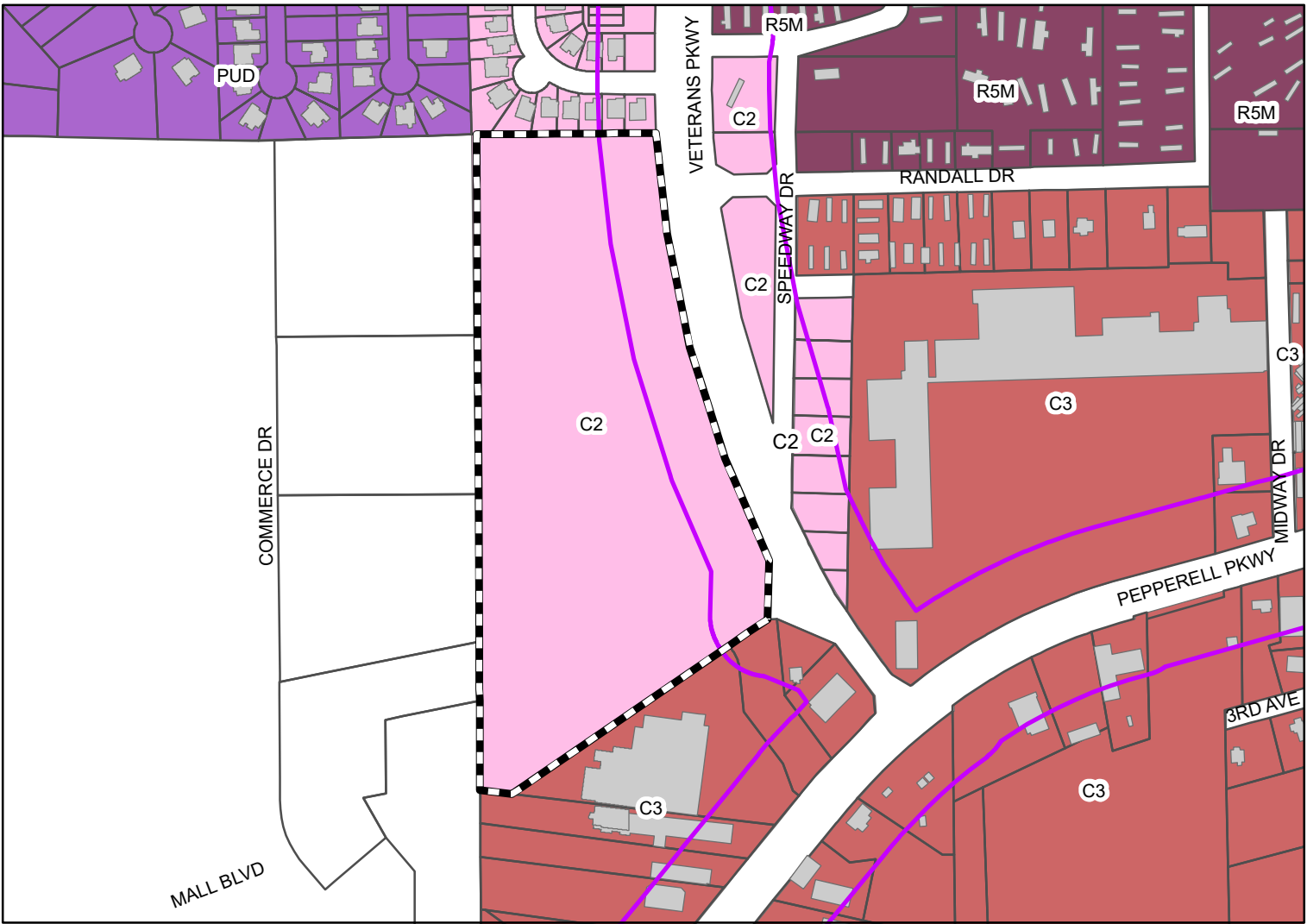
Given my hand and seal of office this 1st day of October

Morgan M. Duett
Notary Public

My Commission Expires: 10/04/2026

MORGAN M. DUETT
Notary Public
Alabama State at Large

VILLAGE CREEK COTTAGE APARTMENTS
20 VETERANS PARKWAY
CONDITIONAL USE, C-6



The applicant is requesting approval for 124 cottage apartments with clubhouse, fitness building, and commercail space. The 22 acre property is zoned C-2, GC-P.



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PARKING SUMMARY

121	GARAGE SPACES
148	DRIVEWAY SPACES
196	SURFACE SPACES
465	TOTAL SPACES

BUILDING AND PARKING LEGEND

BUILDING TYPE 1
1 - 3 BEDROOM UNIT
1 - GARAGE PARKING SPACE
2 - DRIVEWAY PARKING SPACES

BUILDING TYPE 2
1 - 3 BEDROOM UNIT
2 - GARAGE PARKING SPACE
2 - DRIVEWAY PARKING SPACES

BUILDING TYPE 3
2 - 3 BEDROOM UNITS

BUILDING TYPE 4
2 - 3 BEDROOM UNITS
2 - 2 BEDROOM UNITS

UNIT MATRIX						
BLDG TYPE	LEVEL	2BR-1	2BR-2	3BR-1	3BR-FG	3BR-RG
BUILDING TYPE 1	1				1	1
BLDG TOTAL					1	1
# OF BLDGS	55					
TOTAL					55	55
BUILDING TYPE 2	2					
BLDG TOTAL	1					1
# OF BLDGS	33					
TOTAL						33
BUILDING TYPE 3	2					
BLDG TOTAL	1			2		2
# OF BLDGS	4			2		
TOTAL				8		8
BUILDING TYPE 4	2					
BLDG TOTAL	1	2	-	2		4
# OF BLDGS	7	2	-	2		4
TOTAL		14	-	14		28
UNIT TOTALS						
		2 BEDROOM		3 BEDROOM		TOTAL
		2BR-1	2BR-2	3BR-1	3BR-FG	
SUBTOTAL		14	-	22	55	33
TOTAL		14	-	22	110	124
RATIO		11%	-	89%		100%

**City of Opelika
Planning Commission
Planning Department Report**

Meeting Date: October 22, 2024

Agenda Item # C-7

Action Requested: Conditional Use – Addition of climate control self-storage buildings

Location of Property: 1615 Thomason Drive

Property Owner(s): Authorized Representative, Blake Rice, Barrett-Simpson, Inc.
Stephen Benson

Current Land Use: Mini-warehouse, climate-controlled warehouse, boat and RV warehouse spaces – 25.12 acre addition to existing self-storage facility

Current Zoning: C-2 and R-5

**Surrounding Zoning Districts
And Land Uses:**

North	C-2	Railroad Right-of Way
South	C-2, R-5	Office/retail and vacant
East	R-3	Undeveloped
West	C-2	Undeveloped

Flood Hazard Zone: This property contains a Flood Zone, however the portion of this property where these buildings are proposed has been removed from the Flood Zone. FEMA – Nov 2, 2011 – MAP#01081C0069G

Staff Comments

The applicant is requesting conditional use approval to construct 12 warehouse building types of uses as follows: 46,700 Sq. Ft. of Self Storage Type, 112,065 Sq. Ft. of Climate Controlled Storage Type, 51,600 Sq. Ft. of Boat and RV Storage type to the existing Sun Self Storage facility at 1615 Thomason Drive. The new storage buildings will have a shared access to Thomason Drive from an existing driveway along the property line that runs parallel to the railroad right-of-way. The developed area is 9.18 acres of the 25-acre property in a C-2 zone and rear portion zoned R-5.

The additional warehouse buildings will be built to match the existing metal buildings in place. Due to the location of these buildings, they will likely not be seen from the Thomason Drive right-

of-way. The setbacks are shown the minimum in the rear area and one side. The setbacks for the site meet the minimum requirements. The maximum built area in a C-2 zone is 40 percent, with the addition of the 12 buildings to this site is estimated to be under the 40 percent.

A landscape plan is not provided at this time. A landscape plan is required for this sizable addition to the existing Sun Self Storage facility. The site requires 820 base points, 60 parking lot points, and additional residential buffers. Staff recommends the residential buffers be a natural undisturbed forest at least 20 feet in width that provides a nearly impervious visual barrier due to the dense nature of plants and trees. Staff recommends screening of mechanical and electrical on the exterior of the buildings including rooftop equipment adjacent to residential zones.

Applicants will be required to verify the rights-of-way and access for the connecting parcels have been vacated and provide that information to the city prior to starting any land development work or permits. Applicants will be required to meet all Flood Plain requirements and approvals prior to starting any land development work or permits.

Staff recommendations

Staff recommends approval subject to:

- Must confirm right-of-way vacations for this property.
- Combine the lot to be one with the existing Sun Self-Storage front lot.
- Applicants are required to meet all flood plain requirements and approvals prior to starting any land development or applying for any permits.
- Provide a landscape plan to meet all the landscape requirements in the zoning ordinance and conditions including residential buffer 20 foot natural and undisturbed nearly impervious visual barrier.

Engineering Department Report

The applicant will be required to submit a site construction and grading plan for the drainage, utility, post construction detention, and roadway installation to the Engineering and Public Works Departments for review and approval. Once this approval and all other utility approvals have been met, a Land Disturbance Permit will be issued in concurrence with any applicable State and Federal Permits.

Engineering has no other comments or concerns regarding the proposed Conditional Use approval.

Opelika Water Board Report

Water is available from Thomason Drive.

Opelika Power Services Report

This property is in Opelika Power Services territory.



**APPLICATION FOR
CONDITIONAL USE APPROVAL**
PLANNING DEPARTMENT
700 FOX TRAIL
OPELIKA, AL 36801



PC DEADLINE: 10/1/24 PC MEETING: 10/22/24

SITE ADDRESS: _____

PROPERTY OWNER: _____

APPLICANT/ AUTHORIZED REPRESENTATIVE: _____

MAILING ADDRESS: _____

PHONE NUMBER: _____ **FAX NUMBER:** _____

EMAIL ADDRESS: _____

PARCEL INFORMATION

Project name: SUN SELF STORAGE Address/Location: 1615 THOMASON DRIVE

Current Land Use: VACANT Current Zoning: _____

Adjacent Zoning Districts: North: _____ South: _____ East: _____ West: _____

Description of Proposed Use: _____

AUTHORIZATION TO ACT AS APPLICANT (if applicable)

I, _____, being owner of the property which is the subject of this conditional use application hereby authorize _____, to act as my representative before the City of Opelika's Planning Commission, and if necessary, represent me before the Board of Zoning Adjustments and City Council.

Property Owner's Signature: See attached Date: _____

**STATE OF ALABAMA,
COUNTY OF LEE**

I, _____, a Notary Public in and for said County and State, hereby certify that _____, whose name is signed to the foregoing document, and who is known to me or acknowledged before me on this day, that being informed of the contents of said document, did execute the same voluntarily on the day that bears the same date.

Given my hand and seal of office this ____ day of _____,

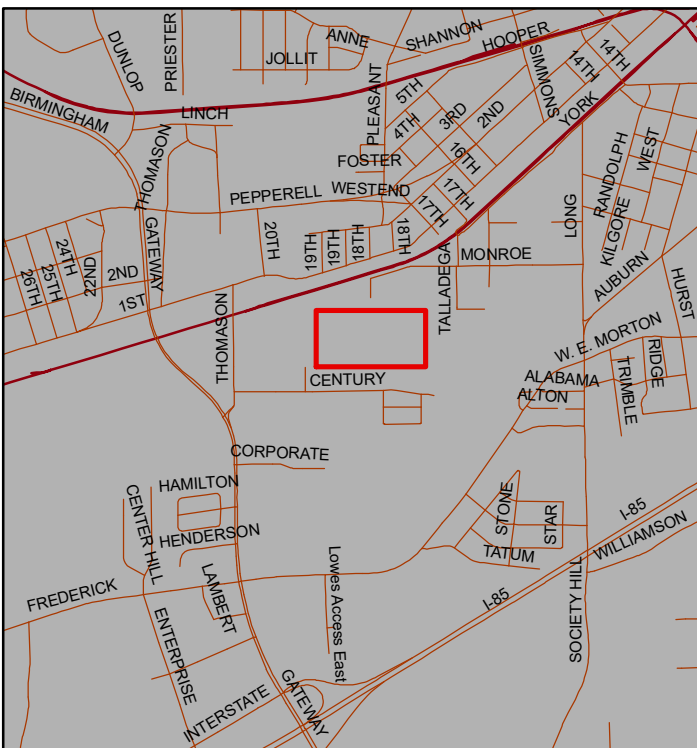
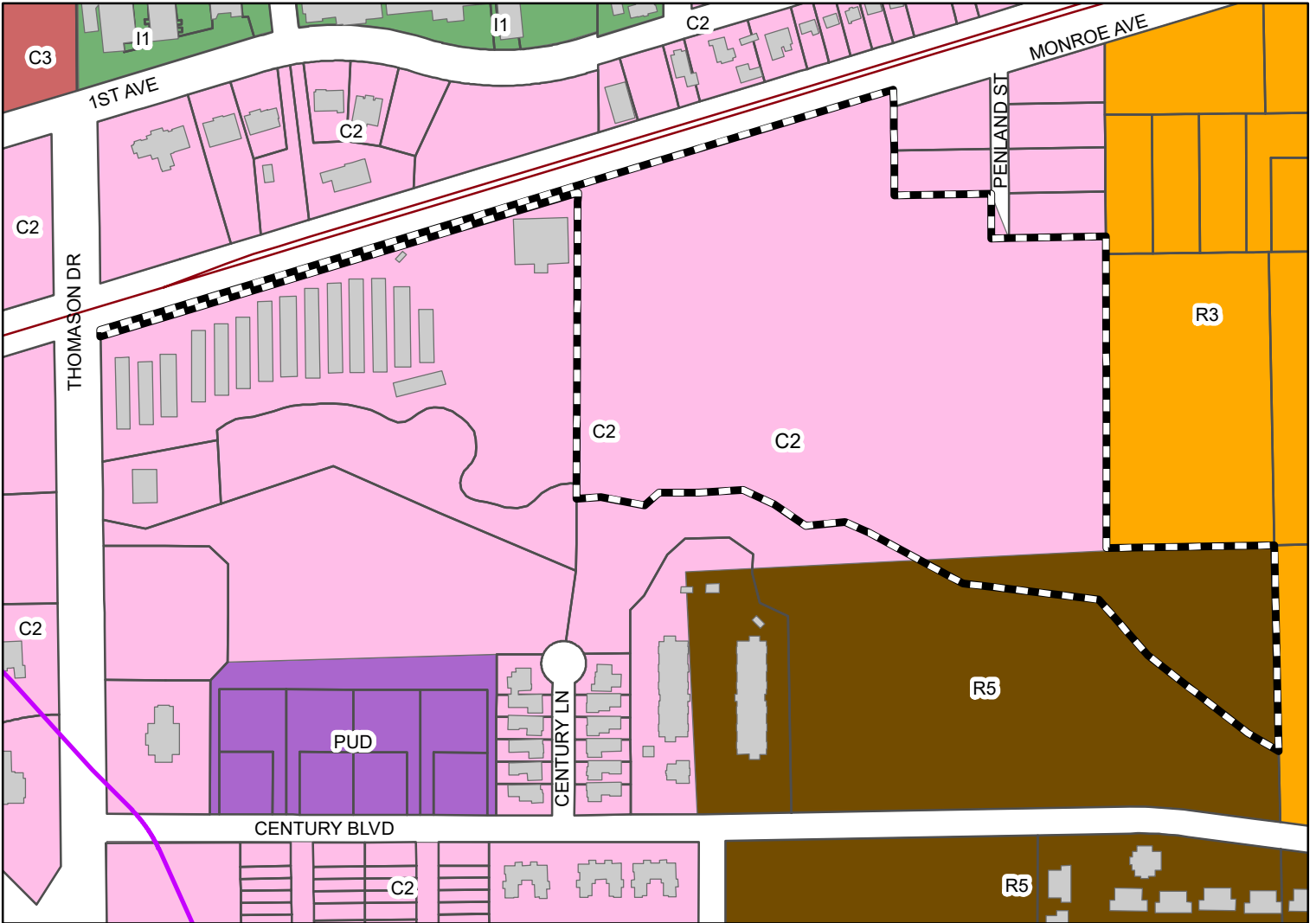
Notary Public

My Commission Expires: _____

SUN SELF CLIMATE CONTROL STORAGE

1615 THOMASON DRIVE

CONDITIONAL USE, C-7



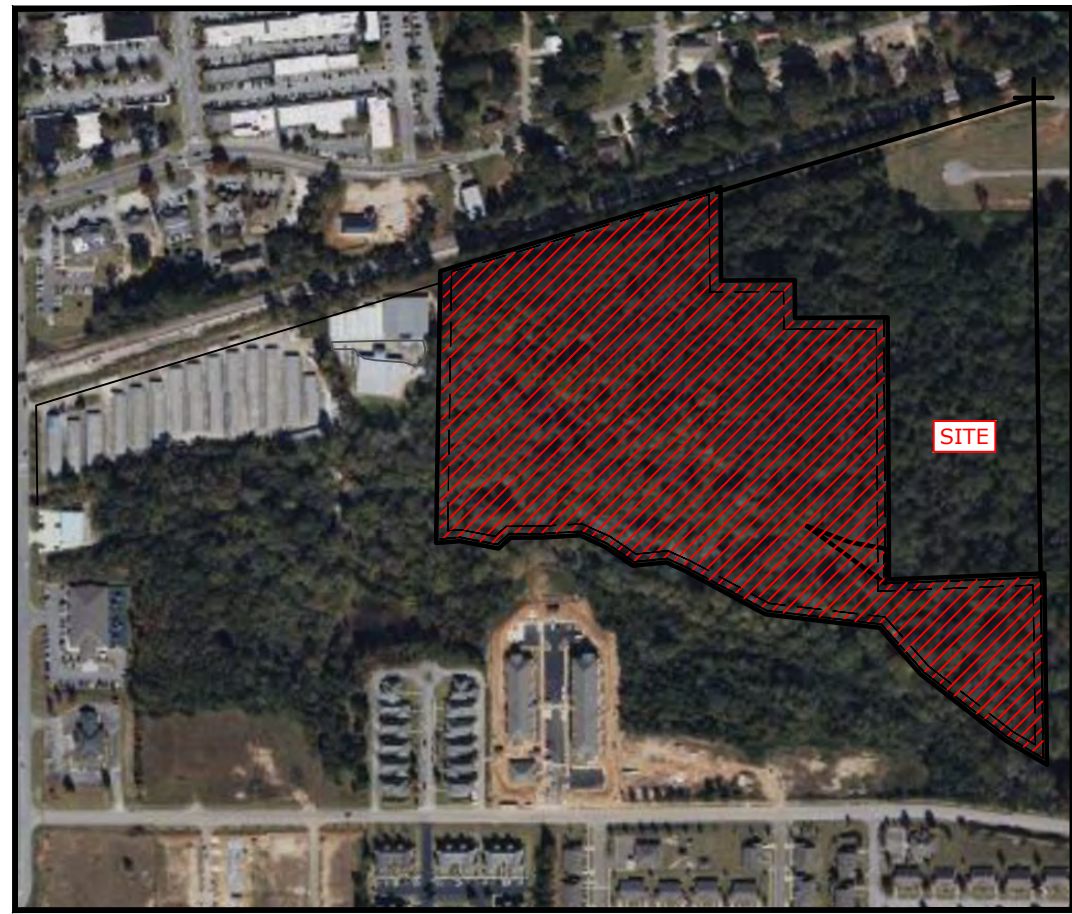
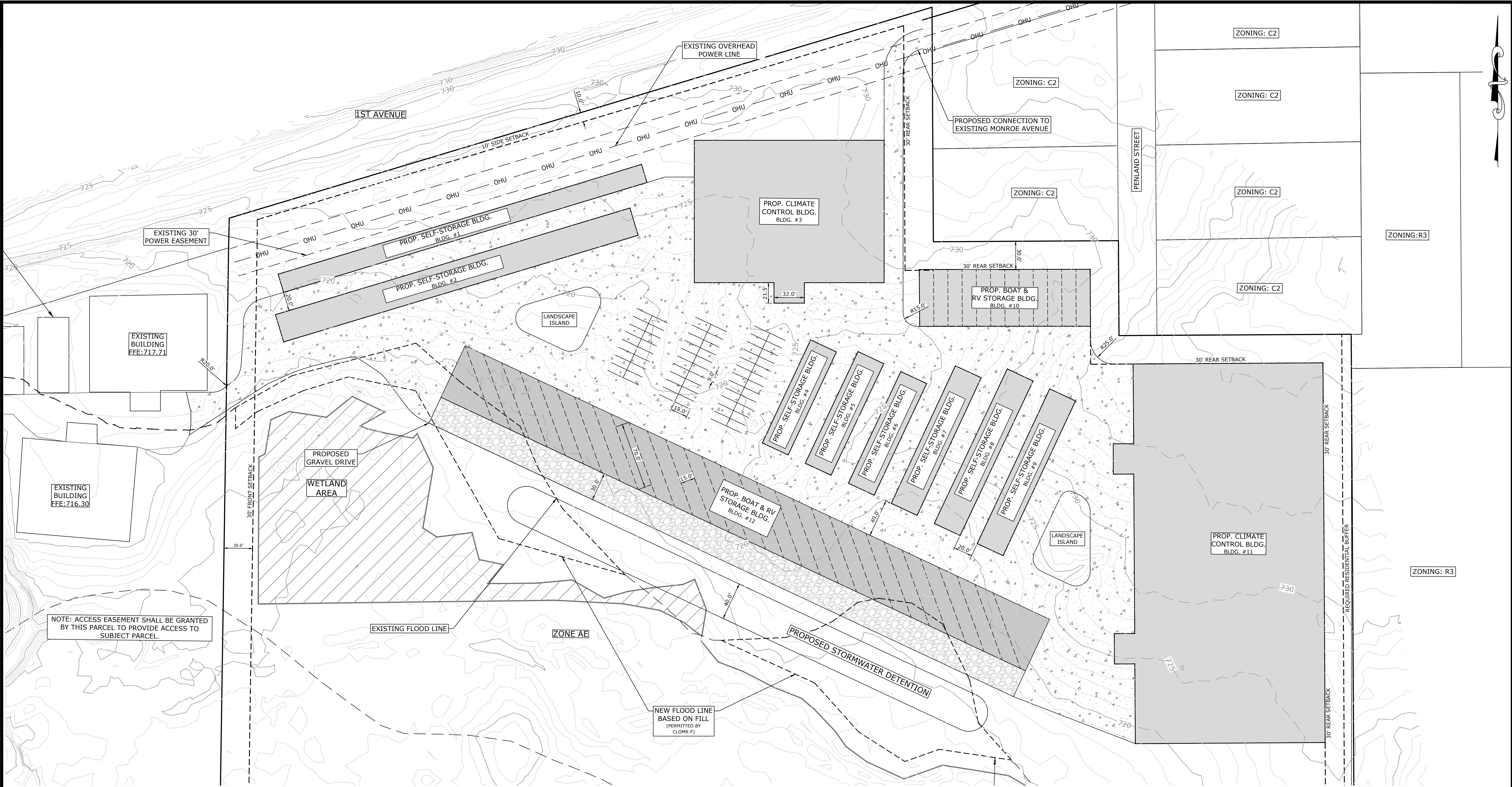
The applicant is requesting approval for 12 climate control storage buildings ranging in size from 3,600 sf to 81,375 sf. Boat & RV storage is provided The developed area is 9 acres on a 25 acre property, Railroad right-of-way borders on north side; portions of property in a flood plain The property is zoned C-2.



Subject Property

The City of Opelika does not guarantee this map to be free from errors or inaccuracies. The City of Opelika, Alabama disclaims any responsibility or liability for interpretations from this map or decisions based thereon. The information contained on this map is a general representation only and is not to be used without verification by an independent professional qualified to verify such information.

Drawing Name: P:\1851 Projects\201717-0008 Benson Sun Self CLORC F Opelika\wg\Sun Self Storage - Conditional Use - 10-1-24.dwg Last Modified: Oct 01, 2024 - 10:38am by amiller



VICINITY MAP
(NOT TO SCALE)

REQUIRED LANDSCAPE POINTS:

DEVELOPED AREA	400,000± SQ. FT. (9.18 AC)
BASE POINTS REQ'D ((400,000 - 10,000) / 500) + 40	820
BASE POINTS TO BE PROVIDED	820
PARKING POINTS REQ'D (60 SPACES @ 1 PT / SPACE)	60
PARKING POINTS TO BE PROVIDED	60
TOTAL REQUIRED POINTS	880
TOTAL POINTS TO BE PROVIDED	880

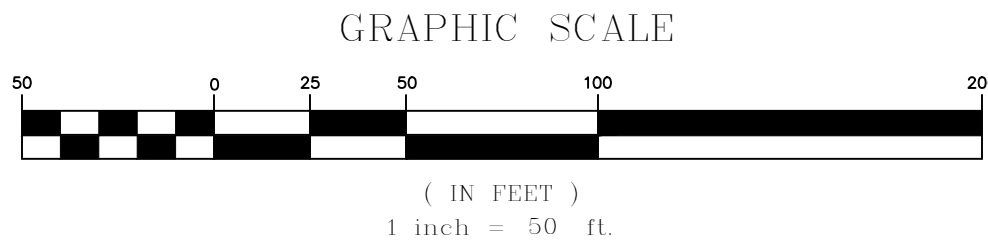
NOTE:
SPECIES FOR PLANTINGS SHALL CONFORM TO THE
RECOMMENDED TREE LIST IN SECTION 10.9 OF THE
OPELIKA ZONING ORDINANCE (PAGE 200)

SITE INFORMATION:

Zoned:	C-2
Total Parcel Size:	1,094,227± SF (25.12 AC)
Req'd Parking Spaces:	
1 Space/10 Storage Cubicles: (300 Cubicles)	30
1 Space/4000 SF of Warehouse (110,000 SF)	28
Total Req'd Parking Spaces:	58
Total Standard Spaces Provided:	57
Total H/C Spaces to be Provided:	3
Total Provided Parking Spaces:	60
Project is located within the City Limits of Opelika.	
Building Setbacks:	
Front:	30'
Side:	10'
Rear:	30'
Landscape Buffers:	
Front:	10'
Side:	4'
Back:	4'
Max. ISR:	N/A
Proposed ISR:	36.5%
Prop. Self Storage Area:	46,700 SF
Prop. Climate Controlled Storage Area:	112,065 SF
Prop. Boat & RV Storage Area:	51,600 SF

BUILDING INFORMATION:

Building	Type	Square Footage	Dimensions
1	SS	8000 SF	400'X20'
2	SS	11700 SF	390'X30'
3	CC	30690 SF	200'X150'
4	SS	3600 SF	120'X30'
5	SS	3900 SF	130'X30'
6	SS	3900 SF	130'X30'
7	SS	4800 SF	160'X30'
8	SS	5400 SF	180'X30'
9	SS	5400 SF	180'X30'
10	BRV	10800 SF	180'X60'
11	CC	81375 SF	200'X400'
12	BRV	40800 SF	680'X60'



SUN SELF STORAGE, INC.

SUN SELF STORAGE
DEVELOPMENT

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and may not be reproduced in
any form without the expressed
written permission of Barrett-
Simpson, Inc.

PROPOSED
CONDITIONAL USE
SITE PLAN

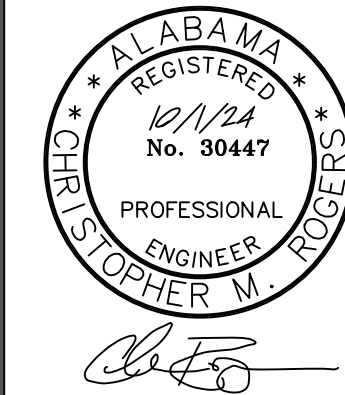
DRAWN BY: A. MILLER
DESIGNED BY: C. ROGERS
REVIEWED BY: C. ROGERS
APPROVED BY: C. ROGERS

DATE: 1 OCT 2024

PROJECT NUMBER: 17-0098

SHEET NUMBER

C1



BARRETT-SIMPSON, INC.
Civil Engineers & Land Surveyors
706 12th ST. PHENIX CITY, AL 36868 (PH : 334-297-2423)
223 S. 9th ST. OPELIKA, AL 36801 (PH : 334-745-7026)
121 W. BROAD ST. EUFALA, AL 36072 (PH : 334-687-4297)

City of Opelika
Planning Commission
Planning Department Report

Meeting Date: October 22, 2024

Agenda Item #: C-8

Action Requested: Conditional Use – Filling the floodplain

Location of Property: 2000 block of Cunningham Drive

Property Owner(s): Horne Brothers, LLC
Jason Horne, authorized representative

Current Land Use: Undeveloped Wooded Floodplain

Current Zoning: C-3

**Surrounding Zoning Districts
And Land Uses:**

North	C-2	Office (across Railroad)
South	R-4	Vacant
East	C-3	Vacant
West	C-3	Vacant

Proposal

In the C-3 zoning district, an office-warehouse use without outdoor storage is allowed by right within the zone. However, Section 8.17 B – Conditional Use requires that any filling of the floodplain requires the use to go through a conditional use application. The applicant is proposing to construct an 8,400 square foot building on a site that is 6.19 acres with a stream flowing through the middle of the property. The area surrounding this stream is also shown as being in the floodplain. The applicant notes that 2.59 acres would be disturbed as part of this project. However, less than 1 percent would be impervious.

This area and the surrounding area to the east and north was part of the former Pepperell Mill property. Most of that area is now vacant. The office warehouse use would be one of the few commercial uses south of railroad track on Cunningham Drive. The greater concern is the amount of modification to the floodplain. This will require a much greater area to be cut down and used as compensatory storage for the area being filled next to the road. This poses a significant issue for the Public Works Department especially due to the proposed depth of the sewer. It is currently eight (8) feet in depth. After the proposed fill, this would increase to 16 feet. The sewer easement is only a total of 10 feet wide with the building being located directly on the edge of one side. Future work on this sewer would

be very difficult under the proposed circumstances.

The three units range between 2,400 to 3,600 square feet. There are six parking spaces. The parking for this use is based off the area and the number of employees. This amount may not be enough if there are more than two employees at any unit. All parking spaces face the front wall of an office-warehouse unit. For some businesses, one or more additional parking spaces may be provided in the warehouse. The site plan provides that the two buildings meet the minimum building setbacks for this C-3 zoning district. Minimum setbacks are 30' front yard, 10' side, and 30' rear yard.

The landscape plan has not been submitted at this time. The site would require 252 base points based on the developed site. The plan should include street frontage plantings. The site is not required to have parking lot plantings or buffers based on the size of the parking lot. The site is adjacent to residential property and requires a residential bufferyard along the entire south side. This would preferably be a 20 foot undisturbed buffer, but that is unlikely. This can be reduced down to a smaller width with a wood privacy fence and plantings or a double row of evergreen plantings. An elevation or materials have not been provided. This is not located on a corridor and subject to the corridor buffer requirements.

A private dumpster is not shown on the site plan. If one is added, it should be fully screened from the right-of-way.

While the actual use of the property will not be detrimental to the city or neighborhood, the preparation of the site to do so is significant. The substantial cut and fill of the floodplain will have potential effects on the surrounding properties. Additionally, the additional fill on the sewer line makes it extremely difficult to access if it ever needs to be repaired or replaced.

Staff recommends denial of the conditional use for filling the floodplain due to the potential effects it will have on the floodplain and city infrastructure. If Planning Commission does recommend approval, it should do so subject to the following:

1. Outside storage shall not be allowed.
 2. A full landscape plan including residential buffer shall be submitted.
 3. A dumpster is not shown on site plan. If dumpster installed then dumpster must be enclosed with an opaque fence and gate at a height so dumpster is not seen outside the enclosure.
 4. Utility service lines shall be underground.
-

Engineering Department Report

The applicant will be required to submit a site construction and grading plan for the drainage, utility, post construction detention, and roadway installation to the Engineering and Public Works Departments for review and approval. Once this approval and all other utility approvals have been met, a Land Disturbance Permit will be issued in concurrence with any applicable State and Federal Permits.

There have been some concerns of the fill and parking area on top of the existing sanitary sewer line. This line may need to be relocated outside of the building area.

The flood plain mitigation through FEMA will be required prior to approval of the site plans and relevant permits.

Engineering has no other comments or concerns regarding the proposed Conditional Use approval.

Opelika Water Board Report

Water is available on Cunningham Dr.

Opelika Power Services Report

This property is in Opelika Power Services and Alabama Power service territory.



**APPLICATION FOR
CONDITIONAL USE APPROVAL**
PLANNING DEPARTMENT
700 FOX TRAIL
OPELIKA, AL 36801



PC DEADLINE: 10-1-24 PC MEETING: 10-22-24

SITE ADDRESS: Cunningham Drive - By the RAILROAD TRACKS
PROPERTY OWNER: HORNE BROTHERS LLC
APPLICANT/ AUTHORIZED REPRESENTATIVE: JASON HORNE
MAILING ADDRESS: 1848 COOPERS POND RD AUBURN AL 36830
PHONE NUMBER: 334-332-7529 **FAX NUMBER:** _____
EMAIL ADDRESS: JASON.HBLLC@gmail.com

PARCEL INFORMATION

Project name: OFFICE/WAREHOUSES **Address/Location:** CUNNINGHAM DR OPELIKA
Current Land Use: _____ **Current Zoning:** _____
Adjacent Zoning Districts: North: C2 South: D4 East: C3 West: C3
Description of Proposed Use: OFFICE/WAREHOUSE SPACE

AUTHORIZATION TO ACT AS APPLICANT (if applicable)

N/A I, JASON HORNE, being owner of the property which is the subject of this conditional use application hereby authorize _____, to act as my representative before the City of Opelika's Planning Commission, and if necessary, represent me before the Board of Zoning Adjustments and City Council.

Property Owner's Signature: _____ Date: _____

**STATE OF ALABAMA,
COUNTY OF LEE**

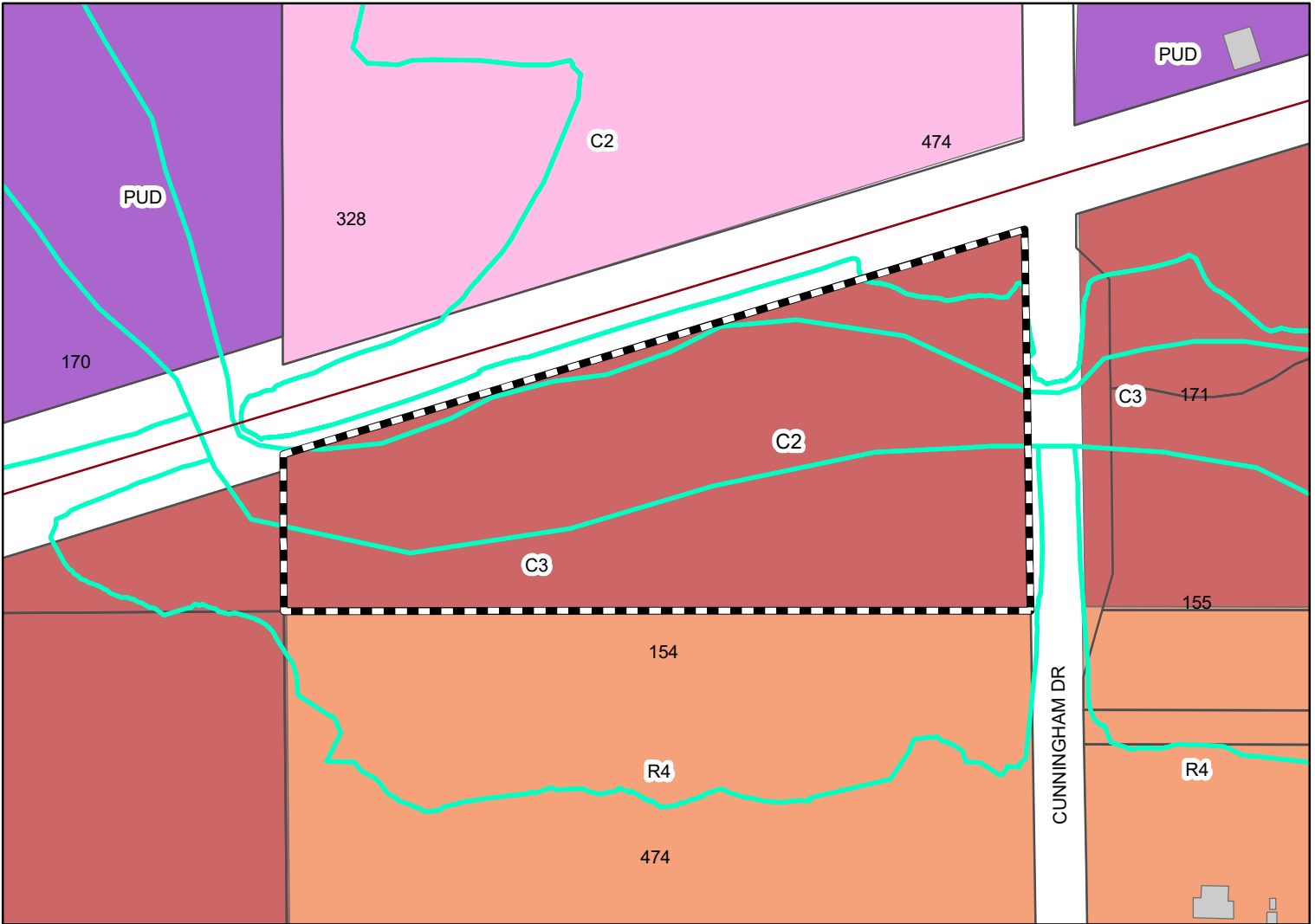
I, _____, a Notary Public in and for said County and State, hereby certify that _____, whose name is signed to the foregoing document, and who is known to me or acknowledged before me on this day, that being informed of the contents of said document, did execute the same voluntarily on the day that bears the same date.

Given my hand and seal of office this ____ day of _____,

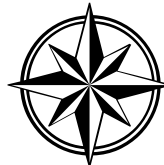
Notary Public

My Commission Expires: _____

HORNE OFFICE-WAREHOUSE 2000 BLOCK CUNNINGHAM DRIVE CONDITIONAL USE, C-8

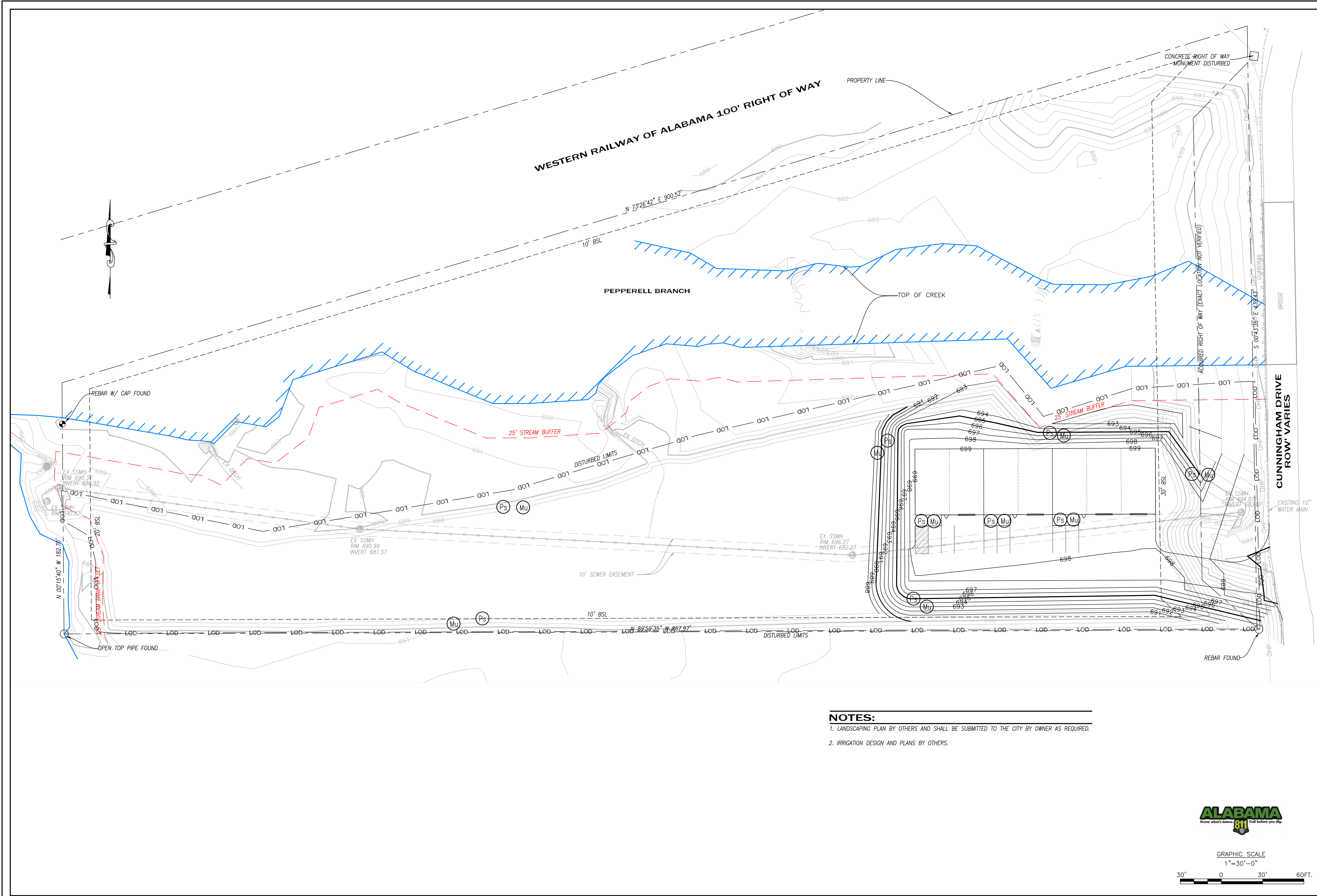


The applicant is requesting approval for a 8,400 sf office warehouse for three tenants on a 6.2 acre lot. Most of the property is in a floodplain and unbuildable. The property is zoned C-3 (general commercial).

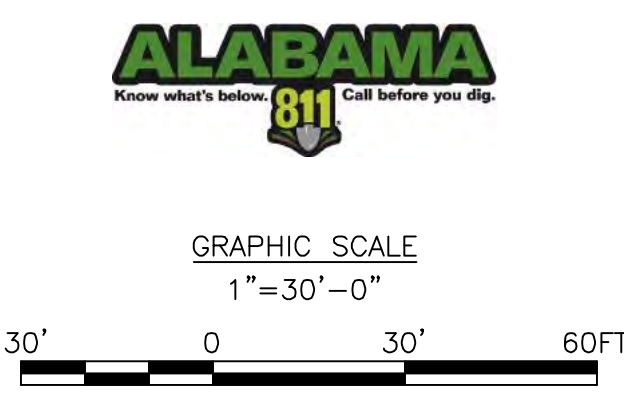


Subject Property

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NOTES:
1. LANDSCAPING PLAN BY OTHERS AND SHALL BE SUBMITTED TO THE CITY BY OWNER AS REQUIRED.
2. IRRIGATION DESIGN AND PLANS BY OTHERS.



ACA ENGINEERING
6053 Stage Road Auburn, Alabama 36832, 334.521.5320

ALABAMA LICENSED PROFESSIONAL ENGINEER
No. 35977
BRIAN F. LEE

**CONTRACTOR WAREHOUSES
CUNNINGHAM DRIVE
OPELIKA, ALABAMA**

ISSUED:

JOB NO: JASON HORNE
DRAWN BY: AMH/HGS
CHECKED BY: BFL
DATE: 25 SEP. 2024
SCALE: 1"=30'-0"

**FINAL
EROSION
CONTROL
PLAN**

C4.2

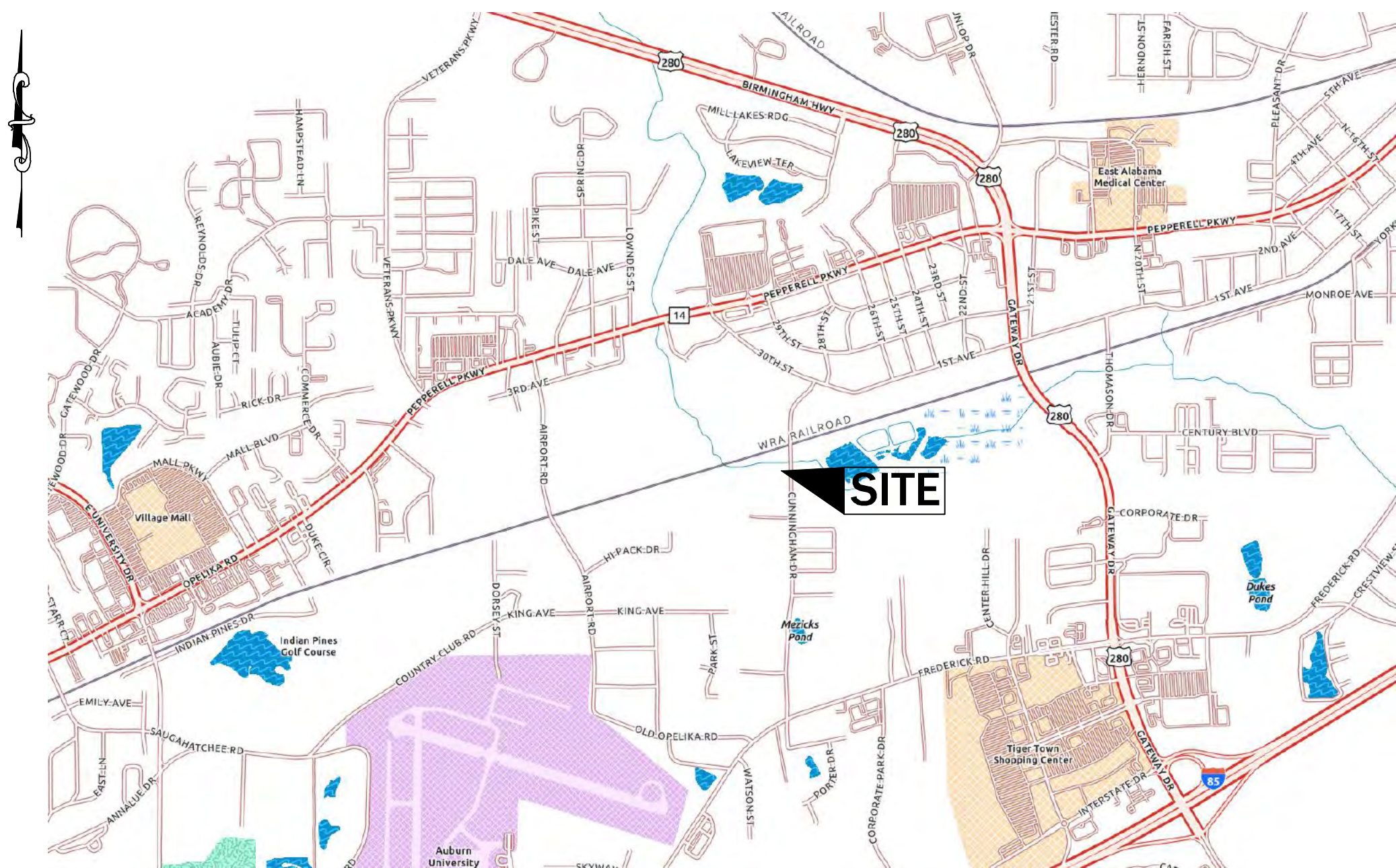
CIVIL SITE DEVELOPMENT

CONTRACTOR WAREHOUSES

SECTION 14, TOWNSHIP 19 NORTH, RANGE 26 EAST

CUNNINGHAM DRIVE
OPELIKA, ALABAMA

VICINITY MAP



OWNER

HORNE BROTHERS LLC
1848 COOPERS POND ROAD
AUBURN, ALABAMA 36830
(334) 332-7529

DRAWING LIST

SHEET	DESCRIPTION
C0.1	GENERAL NOTES
C1.0	EXISTING & DEMOLITION PLAN
C2.0	SITE & UTILITY PLAN
C3.0	GRADING PLAN
C4.0	INITIAL EROSION CONTROL PLAN
C4.1	INTERMEDIATE EROSION CONTROL PLAN
C4.2	FINAL EROSION CONTROL PLAN
C4.3	EROSION CONTROL DETAILS
C5.0	SITE DETAILS

SERVICE PROVIDERS:

CITY OF OPELIKA PUBLIC WORKS
(334) 705-5400

CITY OF OPELIKA ENGINEERING
(334) 705-5450

CITY OF OPELIKA INSPECTIONS
(334) 705-5420

CITY OF OPELIKA PLANNING
(334) 705-5156

WATER
OPELIKA WATER
4055 WATER STREET
OPELIKA, AL 36801
(334)705-5500

PHONE
AT & T
1801 AIRPORT ROAD
OPELIKA, AL 36801
(334)745-8508

GAS
SPIRE
3400 SKYWAY DRIVE
AUBURN, AL 36830
(205) 307-8732

POWER
OPELIKA POWER SERVICES
334-705-5170

PREPARED BY:



BRIAN LEE, PE
6053 STAGE ROAD
AUBURN, ALABAMA 36832



GENERAL NOTES:

1. ACAI ENGINEERING, LLC IS NOT RESPONSIBLE FOR SITE SAFETY PROCEDURES OR METHODS OF CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF AND PRESENCE OF EXISTING UTILITIES PRIOR TO BEGINNING WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS DUE TO CONSTRUCTION ACTIVITIES. ANY DAMAGE SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS REQUIRED TO CONSTRUCT THIS PROJECT AND PAY ALL PERMIT FEES. ALL PERMITS MUST BE IN-HAND PRIOR TO CONSTRUCTION.
5. ALL MATERIALS AND METHODS OF PLACEMENT SHALL COMPLY WITH ALDOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.

SITE DEMOLITION NOTES:

1. REFER TO LAYOUT PLANS FOR ADDITIONAL INFORMATION RELATING TO PAVING, CURB, SIDEWALKS, HARDSCAPES, ETC. REMOVE EXISTING CURBS AS NEEDED TO INSTALL PROPOSED IMPROVEMENTS.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL, RELOCATION OR PROTECTION OF ALL ABOVE AND BELOW GROUND EXISTING IMPROVEMENTS THAT ARE IN CONFLICT WITH THE PROPOSED IMPROVEMENTS, UNLESS NOTED OTHERWISE.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DISPOSE OF ALL REMOVED MATERIAL AND STRUCTURES IN A LEGAL AND APPROVED MANNER. DEMOLISHED MATERIALS SHALL BECOME PROPERTY OF THE CONTRACTOR UNLESS NOTED OTHERWISE.
4. ALL EXISTING PAVING, CURBS, HARDSCAPE, ETC. SHALL BE SAW CUT AT THE LIMITS OF REMOVAL IN ORDER TO PROVIDE A CLEAN EDGE.

LAYOUT NOTES:

1. ALL HANDICAP RAMPS, SIGNS, SYMBOLS, AND PAINTED ISLANDS AND ACCESS ROUTES MUST CONFORM TO THE LATEST ADA REQUIREMENTS.
2. THE MAXIMUM SLOPE IN HANDICAP PARKING AREAS SHALL NOT EXCEED 2.0% GRADE IN ANY DIRECTION. SLOPE IN THE DIRECTION OF TRAVEL IN ALL HANDICAP ACCESS ROUTES SHALL NOT EXCEED 5.0% GRADE AND 2.0% CROSS SLOPE.
3. ALL DIMENSIONS AND COORDINATES SHOWN ARE TO THE BACK OF CURB, OR TO THE EDGE OF SURFACING UNLESS OTHERWISE NOTED.
4. ALL STRIPING SHALL BE INSTALLED PER THE LATEST EDITION OF THE MUTCD UNLESS NOTED OTHERWISE.
5. CONTRACTOR IS RESPONSIBLE FOR ADJUSTING ELEVATIONS OF ALL AT-GRADE STRUCTURES AND UTILITIES TO REMAIN (VALVE BOXES, MANHOLES, INLETS, VAULTS, ETC.) TO MATCH PROPOSED FINISHED GRADES.

GRADING NOTES

1. THE SERVICES OF A LICENSED GEOTECHNICAL ENGINEER SHALL BE RETAINED TO PROVIDE CONSTRUCTION TESTING AND RESULTS SHALL BE SUBMITTED TO THE OWNER AND ENGINEER OF RECORD.
2. ALL TOPSOIL SHALL BE STRIPPED WITHIN THE PROPOSED LIMITS OF GRADING AND SHALL BE STOCKPILED ON-SITE IN A APPROVED MANNER AND IN AN APPROVED LOCATION FOR LATER USE WITH ANY EXCESS TO BE DISPOSED OF OFF-SITE ONCE ALL LANDSCAPED AREAS HAVE BEEN BROUGHT TO FINISH GRADE UNLESS OTHERWISE NOTED ON THE PLANS.
3. SUBGRADE SHALL BE PROOF ROLLED WITH APPROVED EQUIPMENT AND BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING FILL. ANY AREAS SHOWING SIGNS OF PUMPING, RUTTING, OR ANY UNSUITABLE (ORGANIC, SOFT, WET, LOOSE) MATERIAL FOUND IN PLACE SHALL BE UNDERCUT AND REPLACED, OR MOISTURE CONDITIONED AND COMPACTED TO THE OPTIMUM DENSITY AND MOISTURE CONTENT.
4. ALL EXPOSED SUBGRADE SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 12" AND RECOMPACTED TO THE SPECIFIED DENSITY AND MOISTURE CONTENT LISTED BELOW.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING THE SUBGRADE AFTER IT HAS BEEN INITIALLY PREPPED DUE TO INCLEMENT WEATHER AND CONSTRUCTION TRAFFIC.
6. FILL MATERIAL SHALL HAVE THE FOLLOWING PROPERTIES: VIRTUALLY FREE OF ORGANICS, NO ROCK FRAGMENTS GREATER THAN 4" WITHIN 4' OF FINISH GRADE, LIQUID LIMIT NOT EXCEEDING 50, PLASTICITY INDEX NOT EXCEEDING 30, MINIMUM STANDARD PROCTOR (ASTM D-698) OF 100 PCF, COMPACTED 98% IN PAVED AND STRUCTURAL AREAS, 95% NON-STRUCTURAL AND LANDSCAPED AREAS, PLACED IN 8" LOOSE LIFTS, AND WITHIN ±2.0% OF OPTIMUM MOISTURE CONTENT. STRUCTURAL AREAS INCLUDE ZONES OF INFLUENCE AROUND THE BUILDING, PAVEMENT AREAS, FILL SLOPES, ETC.
7. COMPACTION TESTS SHALL BE TAKEN AT THE RECOMMENDATION OF THE ON-SITE GEOTECHNICAL ENGINEER, BUT AT A MINIMUM EVERY 2,500 SQUARE FEET OF AREA PER 8" LIFT.
8. COMPACTION WITHIN LIMITED SPACES (I.E. MANHOLES, INLETS, UTILITY TRENCHES) SHOULD BE BACKFILLED AND COMPACTED SYSTEMATICALLY, AT THE DIRECTION OF THE ON-SITE GEOTECHNICAL ENGINEER. STONE BACKFILL SHALL BE INSTALLED IN 12" LOOSE LIFTS AND COMPACTED WITH 6-8 PASSES OF A VIBRATORY COMPACTOR.
9. CLEARING LIMITS SHALL BE 5' OUTSIDE OF ALL PROPOSED GRADED AREAS OR NOT BEYOND THE PROPERTY LINES WHICHEVER IS LESS.
10. NO GRADING OFF-SITE OR IN ANY ROAD RIGHT-OF-WAY WITHOUT PROPERTY APPROVAL AND PRIOR NOTIFICATION.
11. COORDINATE THE SEQUENCING OF ALL GRADING OPERATIONS WITH THE EROSION CONTROL PLAN.
12. ALL GRADING ADJACENT TO EXISTING OR PROPOSED BUILDINGS SHALL BE SLOPED AWAY FROM THE STRUCTURES AT A MINIMUM OF 1.0% GRADE. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM THE STRUCTURES. NOTIFY PROJECT ENGINEER OF ANY DISCREPANCIES.
13. PROPOSED GRADES INDICATED ON THIS PLAN ARE TO FINISH GRADE. THE CONTRACTOR SHALL MAKE SUBGRADE ADJUSTMENTS FOR TOPSOIL, PAVING, BUILDING PAD, ETC.
14. FILL SLOPES SHOULD BE BENCHED INTO THE EXISTING SLOPES AND SHOULD BE COORDINATED WITH THE ON-SITE GEOTECHNICAL ENGINEER FOR BENCH DETAILS (HEIGHT AND DEPTH OF BENCH INTO THE SLOPE).
15. UNSUITABLE MATERIAL REFERS TO MATERIAL THAT IS NOT SUITABLE FOR BUILDING OR PAVEMENT SUPPORT FOR REASONS ASSOCIATED WITH MATERIAL PROPERTIES, SUCH AS HIGHLY PLASTIC SOILS, "FAT" CLAYS, ORGANICS, AND OLD FILL. MATERIAL WHICH IS OTHERWISE SUITABLE, BUT ABOVE THE OPTIMUM MOISTURE AND REQUIRES MOISTURE CONDITIONING PRIOR TO USE AS ENGINEERED FILL, SHALL NOT BE CONSIDERED AS "UNSUITABLE".

16. DEWATERING SHALL BE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. PREVENT SURFACE WATER AND GROUND WATER FROM ENTERING EXCAVATIONS, FROM PONDING ON PREPARED SUBGRADES, AND FROM FLOODING PROJECT SITE AND SURROUNDING AREA. PROTECT SUBGRADES FROM SOFTENING, UNDERMINING, WASHOUT, AND DAMAGE BY RAIN OR WATER ACCUMULATION. REROUTE SURFACE WATER RUNOFF AWAY FROM EXCAVATED AREAS. DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS. DO NO USE EXCAVATED TRENCHES AS TEMPORARY DRAINAGE DITCHES. INSTALL A DEWATERING SYSTEM TO KEEP SUBGRADES DRY AND CONVEY GROUND WATER AWAY FROM EXCAVATIONS. MAINTAIN UNTIL DEWATERING IS NO LONGER REQUIRED. IF GROUND WATER DEWATERING IS REQUIRED, CONTRACTOR IS TO OBTAIN ANY PERMITS AS MAY BE REQUIRED PRIOR TO DISCHARGE OF EFFLUENT FROM DEWATERING.
17. WHERE ROCK IS ENCOUNTERED WITHIN 18" OF THE PAVING SUBGRADE AND 36" OF THE BUILDING SUBGRADE, SUITABLE MATERIAL SHALL BE REPLACED TO THE PROPOSED SUBGRADE ELEVATION.
18. GRADING ADJACENT TO THE BUILDING SHALL BE COORDINATED WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR FOUNDATION WALLS, STEM WALLS, DRAINS, AND OTHER CONDITIONS. THE CONTRACTOR SHALL NOTIFY PROJECT ENGINEER OF ANY DISCREPANCIES.

STORM DRAINAGE NOTES:

1. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS ON ALL STORM PIPE MATERIALS TO PROJECT ENGINEER PRIOR TO INSTALLATION AND/OR FABRICATION.
2. ALL PROPOSED STORM INLETS (GRATES, CURB, YARD, AREA DRAINS) ARE TO BE LOCATED AT THE LOW POINTS. GRADING SHALL BE TO DIRECT RUNOFF TO THESE INLETS. NOTIFY PROJECT ENGINEER OF ANY DISCREPANCIES.
3. STORM DRAINAGE SYSTEMS SHALL BE CONSTRUCTED FROM DOWNSTREAM TO UPSTREAM. VERIFY ALL PIPE SLOPES, INVERTS, AND POINTS OF CONNECTION PRIOR TO CONSTRUCTION. NOTIFY PROJECT ENGINEER OF ANY DISCREPANCIES.
4. THE CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED STORM PIPE GRADE AND POINTS OF CONNECTION PRIOR TO INSTALLATION. PROJECT ENGINEER SHALL BE NOTIFIED OF ANY DEVIATIONS PRIOR TO CONSTRUCTION.
5. PROPOSED STORM PIPES 30" AND LESS SHALL BE BEDDED IN 4" OF CRUSHED AGGREGATE AND STORM PIPES 36" AND GREATER SHALL BE BEDDED IN 6" OF CRUSHED AGGREGATE.
6. ALL RIP RAP SHALL BE CLASS 2 PER THE ALABAMA DEPARTMENT OF TRANSPORTATION (ALDOT) STANDARD SPECIFICATIONS OF HIGHWAY CONSTRUCTION, UNLESS OTHERWISE NOTED.
7. ALL STORM PIPES 15" AND LESS SHALL BE SCHEDULE 40 POLYVINYL CHLORIDE (PVC) WITH WATER-TIGHT JOINTS UNLESS OTHERWISE NOTED, AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. ALL STORM PIPES 18" AND GREATER SHALL BE CLASS 3 REINFORCED CONCRETE PIPE (RCP) BELL AND SPIGOT INSTALLED WITH WATER-TIGHT JOINTS UNLESS OTHERWISE NOTED.
8. ALL STORM MANHOLES SHALL BE PRECAST CONE, RISER, AND BASE SECTIONS WITH GASKETED JOINTS PER CITY STANDARD DETAILS.
9. ALL SINGLE AND DOUBLE WING CURB INLETS SHALL BE PER CITY STANDARD DETAILS.
10. PROVIDE 4" PVC SCHEDULE 40 GRAVITY DRAIN LINE FROM ALL BELOW GRADE UTILITY VAULTS TO THE NEAREST STORM DRAINAGE INLET OR DAYLIGHT AT GRADE.

EROSION CONTROL NOTES:

1. SITE EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS, CODES, AND REGULATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A "NOTICE OF INTENT" (NOI) FROM ADEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MONITORING, INSPECTIONS, ETC. TO ENSURE THAT THE SITE IS AT ALL TIMES IN ACCORDANCE WITH ADEM RULES AND REGULATIONS. DOCUMENTATION OF INSPECTIONS BY A Q.C.I. OR Q.C.P. SHALL BE MAINTAINED BY THE OWNER. ANY AND ALL FEES, FINES, ETC., SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING THE CONSTRUCTION PROCESS AND UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED. ALL EROSION CONTROL INSTALLATION AND MAINTENANCE SHALL BE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
4. EROSION CONTROL DEVICES SHOWN ON THESE PLANS ARE A MINIMUM. ADDITIONAL DEVICES SHALL BE INSTALLED AS REQUIRED TO PREVENT SILTATION, EROSION AND OTHER DEGRADATION OR POLLUTION TO THE SITE OR ADJACENT PROPERTIES, STREAMS, DITCHES, AND PUBLIC ROADWAYS.
5. EROSION CONTROL DEVICES SHALL INCLUDE, BUT NOT LIMITED, TO THE FOLLOWING DEVICES: SILT FENCING, BRUSH BERMS, SEDIMENT BASINS, DETENTION PONDS, STRAW WATTLES, CHECK DAMS, FILTER BERMS, JUTE MATTING, VEGETATIVE FILTER STRIPS, TURF REINFORCEMENT MAT, DIVERSION BERMS, ETC.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL DEVICES IN GOOD OPERATION CONDITION DURING THE LIFE OF THE NPDES PERMIT. THIS RESPONSIBILITY SHALL INCLUDE THE CLEANUP AND/OR REPAIRS TO THE DEVICES AT NO ADDITIONAL COST TO THE OWNER.
7. EROSION CONTROL DEVICES SHALL BE MONITORED AND MAINTAINED UNTIL THE SITE HAS BEEN PERMANENTLY STABILIZED AND AFTER EACH RAINFALL GREATER THAN 0.75 INCHES IN A 24 HOUR PERIOD, ANY WIND GUSTS GREATER THAN 25 MPH, AND ANY SUSTAINED WINDS GREATER THAN 20 MPH IN A 24 HOUR PERIOD.
8. AFTER ALL LAND DISTURBANCE ACTIVITIES HAVE CEASED AND AFTER ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED, THE EROSION CONTROL DEVICES SHALL BE REMOVED BY THE CONTRACTOR AND THE AREA CLEANED AND DRESSED.
9. DEWATERING OPERATIONS SHOULD BE PERFORMED FROM THE TOP OF THE WATER COLUMN AND MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR POLLUTION TO ADJACENT PROPERTIES, STREAMS, DITCHES, OR PUBLIC ROADWAYS.
10. A CONSTRUCTION EXIT PAD SHALL BE CONSTRUCTED PER CITY SPECS AT ALL SITE EXITS TO PREVENT TRACKING OF DIRT AND SEDIMENT ONTO PUBLIC OR PRIVATE ROADWAYS. IF SEDIMENT REACHES THE ROADWAY, THEN IT MUST BE CLEANED AT THE END OF EACH WORK DAY.
11. ALL LAND DISTURBANCE ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE EXPOSURE OF BARE AREAS AT ANY ONE TIME.
12. ALL DISTURBED AREAS LEFT INACTIVE FOR MORE THAN 13 DAYS SHALL BE SEEDED AND MULCHED WITHIN 5 DAYS OF BEING DISTURBED.
13. ALL AREAS TO HOST PERMANENT VEGETATION SHALL RECEIVE 4 INCHES OF TOPSOIL AND PERMANENT GRASSING UNLESS OTHERWISE INDICATED ON A LANDSCAPE PLAN.

14. PRIOR TO SITE CLEARING, ALL PERIMETER SILT FENCING, BRUSH BERMS, ETC. AND CONSTRUCTION EXIT PADS SHALL BE INSTALLED.
15. ALL EXISTING STREAMS, DITCHES, ETC. SHALL BE PROTECTED FROM SEDIMENTATION BY SILT FENCING, WATTLES, BRUSH BERMS, ETC.
16. FILTER INLET PROTECTION SHALL BE INSTALLED AT ALL INLETS UPON THE COMPLETION OF EACH INLET AS INSTALLED.
17. RIP RAP SHALL BE PLACED AT EACH HEADWALL IMMEDIATELY FOLLOWING CONSTRUCTION OF EACH HEADWALL.
18. EROSION CONTROL BLANKET SHALL BE PLACED ON ALL SLOPES 3:1 AND STEEPER AND SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

UTILITY NOTES:

1. THE SITE CONTRACTOR IS RESPONSIBLE FOR COMPLETING ALL UTILITY SERVICES (WATER, SEWER, GAS, ELECTRICAL, TELEPHONE, CABLE TV) FROM THE POINT THE RESPECTIVE UTILITY COMPANY COMPLETES THEIR WORK TO THE POINT OF CONNECTION AT THE BUILDING.
2. REFER TO ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, ETC. PLANS FOR ALL PROPOSED UTILITY POINTS OF CONNECTION AT THE BUILDING. NOTIFY ARCHITECT AND PROJECT ENGINEER OF ANY DISCREPANCIES.
3. GRAVITY SEWER SYSTEMS SHALL BE CONSTRUCTED FROM DOWNSTREAM TO UPSTREAM. VERIFY ALL PIPE SLOPES, INVERTS, AND POINTS OF CONNECTION PRIOR TO CONSTRUCTION. NOTIFY PROJECT ENGINEER OF ANY DISCREPANCIES.
4. THE CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED GRAVITY SEWER PIPE GRADES AND POINTS OF CONNECTION PRIOR TO INSTALLATION. PROJECT ENGINEER SHALL BE NOTIFIED OF ANY DEVIATIONS PRIOR TO CONSTRUCTION.
5. BACKFLOW PREVENTION AND METERING SHALL BE PROVIDED ON THE FIRE, DOMESTIC, AND IRRIGATION SERVICES IN ACCORDANCE WITH THE CITY'S AND FIRE DEPARTMENT'S JURISDICTIONAL REQUIREMENTS. BACKFLOW PREVENTION FOR THE DOMESTIC AND IRRIGATION SYSTEMS SHALL BE REDUCED PRESSURE PRINCIPAL (RPZ) INSTALLED IN ABOVE GROUND BOXES. THE FIRE SERVICE SHALL HAVE A DOUBLE DETECTOR CHECK VALVE IN A BELOW GRADE BOX.
6. WATER LATERALS 4 INCHES IN DIAMETER AND GREATER SHALL BE DIP (CL350) AND WATER LATERALS 3 INCHES AND LESS IN DIAMETER SHALL BE TYPE "K" COPPER UNLESS OTHERWISE INDICATED ON THE PLANS.
7. WATER MAINS AND SERVICES SHALL BE A MINIMUM OF 10 FEET HORIZONTAL AND 2 FEET VERTICAL FROM ALL SANITARY SEWER MAINS AND LATERALS.
8. WATER MAINS AND SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL UTILITY REQUIREMENTS AND PROJECT ENGINEER SHALL BE NOTIFIED OF ANY DEVIATIONS PRIOR TO CONSTRUCTION. ALL MAINS AND SERVICES SHALL BE INSTALLED WITH A MINIMUM OF 36 INCHES COVER UNLESS OTHERWISE INDICATED ON PLANS.
9. ALL SANITARY SEWER MAINS AND LATERALS SHALL BE SDR 26 UNLESS OTHERWISE REQUIRED BY THE LOCAL UTILITY COMPANY OR NOTED OTHERWISE.
10. ALL UNDERGROUND ELECTRICAL, TELEPHONE, AND CABLE TV SHALL BE INSTALLED IN PVC CONDUIT OR CONCRETE ENCASED DUCT BANK WITH FULL WIRE MEETING THE LOCAL UTILITY COMPANY'S REQUIREMENTS. REFER TO ELECTRICAL PLANS FOR SPECIFIC INFORMATION.
11. GAS SERVICE SHALL BE PER THE LOCAL UTILITY COMPANY'S REQUIREMENTS. COORDINATE WITH MECHANICAL ENGINEER AND UTILITY COMPANY.
12. UTILITY TRENCHES SHALL BE BACKFILLED WITH COMPACTED FILL PLACED IN 6 INCH LOOSE LIFT. FILL SHALL BE COMPACTED TO 98% STANDARD PROCTOR AND OPTIMUM MOISTURE CONTENT WITHIN ±2.0%.
13. WHEN INSTALLING UTILITIES IN EXISTING PAVED AREAS OR IN AREAS WHERE SOILS ARE CONSIDERED UNSUITABLE FOR BEDDING OR BACKFILLING, UTILITY TRENCHES SHALL BE BACKFILLED FULL DEPTH WITH CRUSHED AGGREGATE.
14. WHERE UTILITIES ARE TO BE INSTALLED IN AREAS OF EXISTING PAVING, HARDSCAPE, SIDEWALKS, ETC. CONTRACTOR SHALL SAW CUT AND REMOVE EXISTING PAVING, HARDSCAPE, SIDEWALK, ETC. AND REPLACE IN LIKE KIND AND RESTRIPE AS NECESSARY. BACKFILL TRENCH FULL DEPTH WITH STONE.

LEGEND:

----	RIGHT OF WAY
-----	BUILDING SETBACK
- - - - -	EASEMENT
— W —	EXISTING WATERLINE
— SS —	EXISTING SANITARY SEWER
— 692 —	EXISTING GRADE
— SS —	SANITARY SEWER
— W —	WATERLINE
— 692 —	FINAL GRADE
✱ 690.50	SPOT ELEVATION
⊗ Sb	CLASS A SILT FENCE
⊗ Bz	BUFFER ZONE
⊗ Ecb	EROSION CONTROL BLANKET
⊗ Ts	TEMPORARY SEED
⊗ Mu	MULCH
⊗ Ps	PERMANENT SEED
⊗ Cep	CONSTRUCTION EXIT PAD

REFERENCES:

HYDRAULICS ANALYSIS FOR CONTRACTOR WAREHOUSES BY
JOAN G. WOODWARD, P.E. WOODWARD CONSULTING, INC.
PO BOX 1816 ROSWELL, GA 30077 (770) 650-8655
DATED MAY 5, 2024

FIELD SURVEY BY ADAMS CONSTRUCTION & ASSOCIATES, INC.
FIELD WORK 1/26/2021

BOUNDARY SURVEY FOR WP PROPERTIES, LLC BY
HARRIS GRAY ENGINEERS SURVEYORS PLANNERS
824 3RD AVENUE WEST POINT, GA (706) 645-5885
DATED 12/8/17



6053 Stage Road Auburn, Alabama 36832, 334.521.5320



CONTRACTOR WAREHOUSES
CUNNINGHAM DRIVE
OPELIKA, ALABAMA

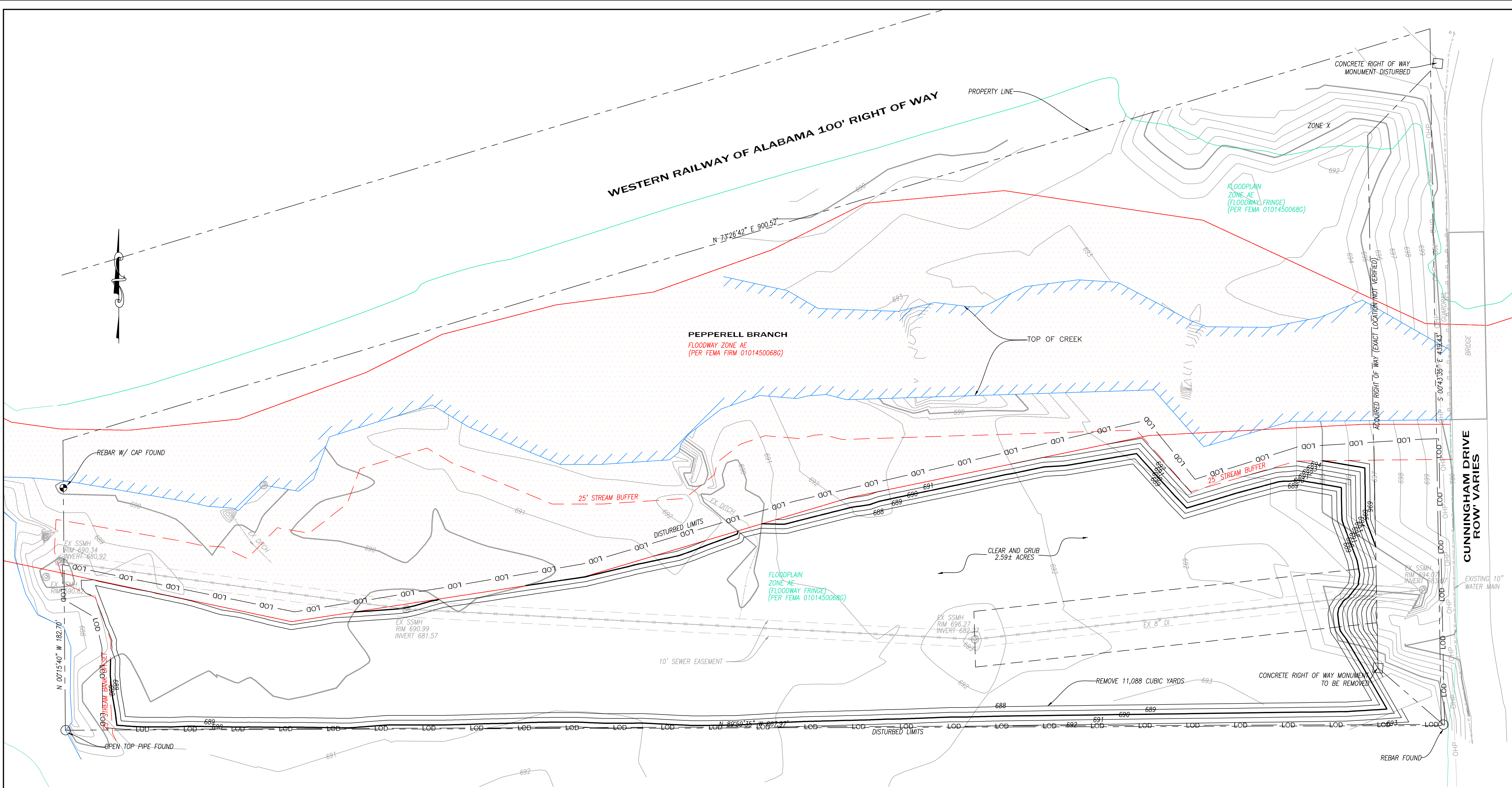
ISSUED:
10/15/24 REV PER CITY

JOB NO: JASON HORNE
DRAWN BY: AMH/HGS
CHECKED BY: BFL
DATE: 25 SEP. 2024
SCALE: NONE

GENERAL NOTES

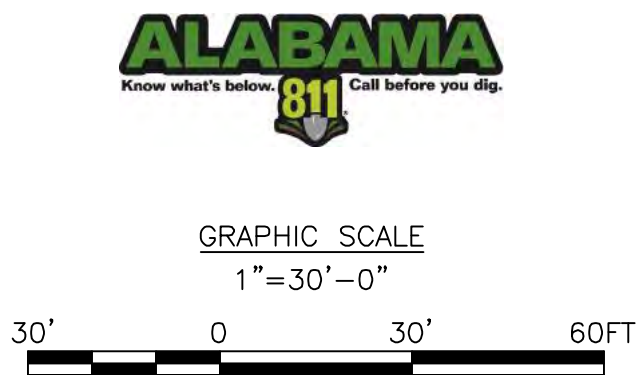
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NOTES

1. PROPERTY LIES WITHIN FLOODPLAIN ZONE AE AND FLOODWAY ZONE AE PER FEMA 0101450068G.
2. GRADING SHOWN ON THIS PLAN IS TO REMOVE 11,088 CUBIC YARDS WITHIN THE FLOODPLAIN ZONE AE ONLY AND EXPORT OFF SITE. NO GRADING IS ALLOWED WITHIN THE FLOODWAY.
3. NO GRADING IS ALLOWED WITHIN 25 FEET OF THE TOP OF BANK OF CREEK.
4. DEWATERING SHALL BE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. PREVENT SURFACE WATER AND GROUND WATER FROM ENTERING EXCAVATIONS, FROM PONDING ON PREPARED SUBGRADES, AND FROM FLOODING PROJECT SITE AND SURROUNDING AREA. PROTECT SUBGRADES FROM SOFTENING, UNDERMINING, WASHOUT, AND DAMAGE BY RAIN OR WATER ACCUMULATION. REROUTE SURFACE WATER RUNOFF AWAY FROM EXCAVATED AREAS. DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS. DO NOT USE EXCAVATED TRENCHES AS TEMPORARY DRAINAGE DITCHES. INSTALL A DEWATERING SYSTEM TO KEEP SUBGRADES DRY AND CONVEY GROUND WATER AWAY FROM EXCAVATIONS. MAINTAIN UNTIL DEWATERING IS NO LONGER REQUIRED. IF GROUND WATER DEWATERING IS REQUIRED, CONTRACTOR IS TO OBTAIN ANY PERMITS AS MAY BE REQUIRED PRIOR TO DISCHARGE OF EFFLUENT FROM DEWATERING.
5. REFERENCE: HYDRAULICS ANALYSIS FOR CONTRACTOR WAREHOUSES BY JOAN G. WOODWARD, P.E. WOODWARD CONSULTING, INC. PO BOX 1816 ROSWELL, GA 30077 (770) 650-8655 DATED MAY 5, 2024



ENGINEERING

6053 Stage Road Auburn, Alabama 36832, 334.521.5320

ALABAMA
LICENSED
No. 35977
PROFESSIONAL
ENGINEER
BRIAN F. LEE

CONTRACTOR WAREHOUSES
CUNNINGHAM DRIVE
OPELIKA, ALABAMA

ISSUED:

10/15/24 REV PER CITY

JOB NO:

DRAWN BY: AMH/HGS

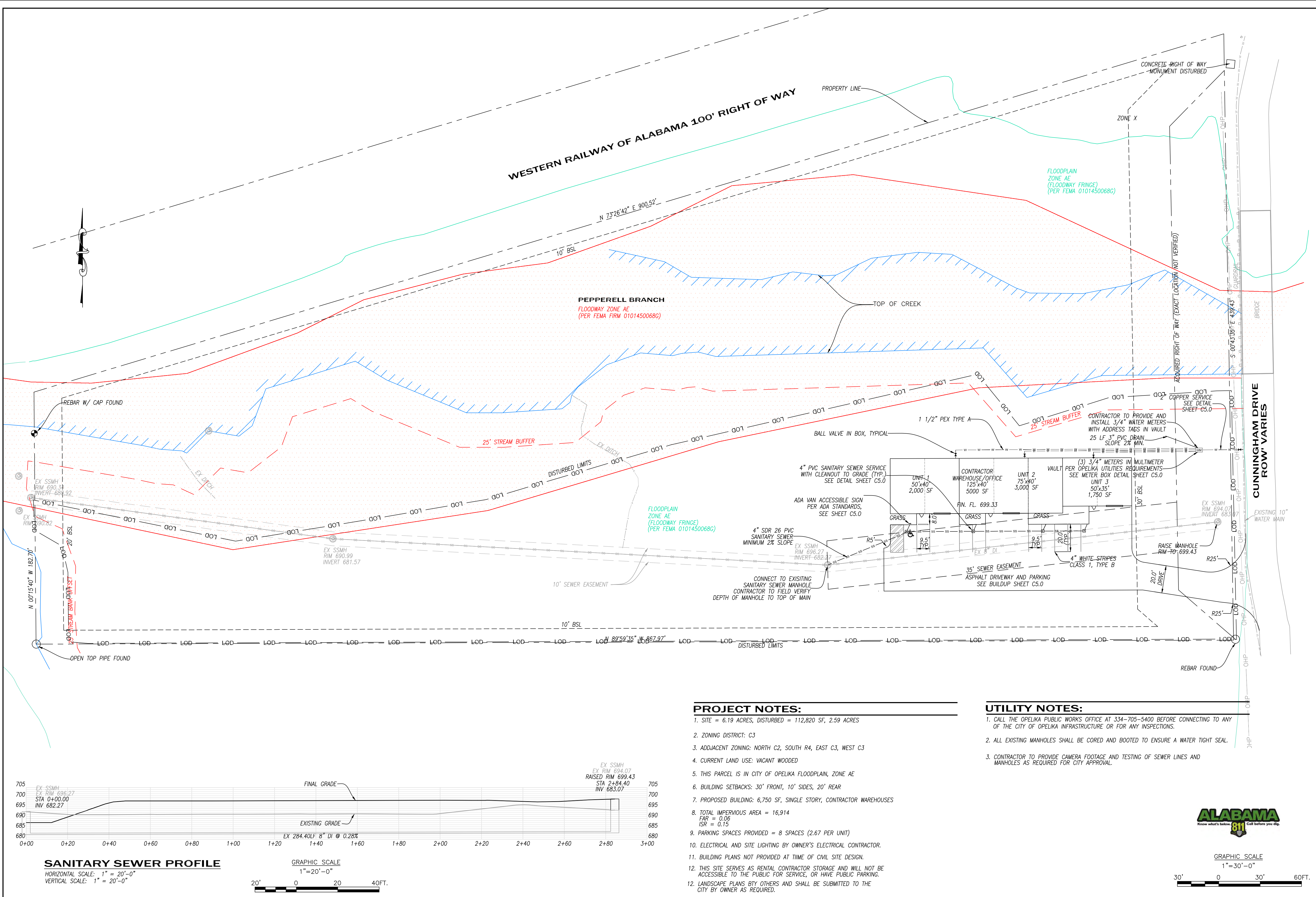
CHECKED BY: BFL

DATE: 25 SEP. 2024

SCALE: 1"=30'-0"

EXISTING
AND
DEMO
PLAN

C1.0



ENGINEERING
6053 Stage Road Auburn, Alabama 36832, 334.521.5320

ALABAMA
LICENSED
No. 35977
PROFESSIONAL
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BRIAN F. LEE

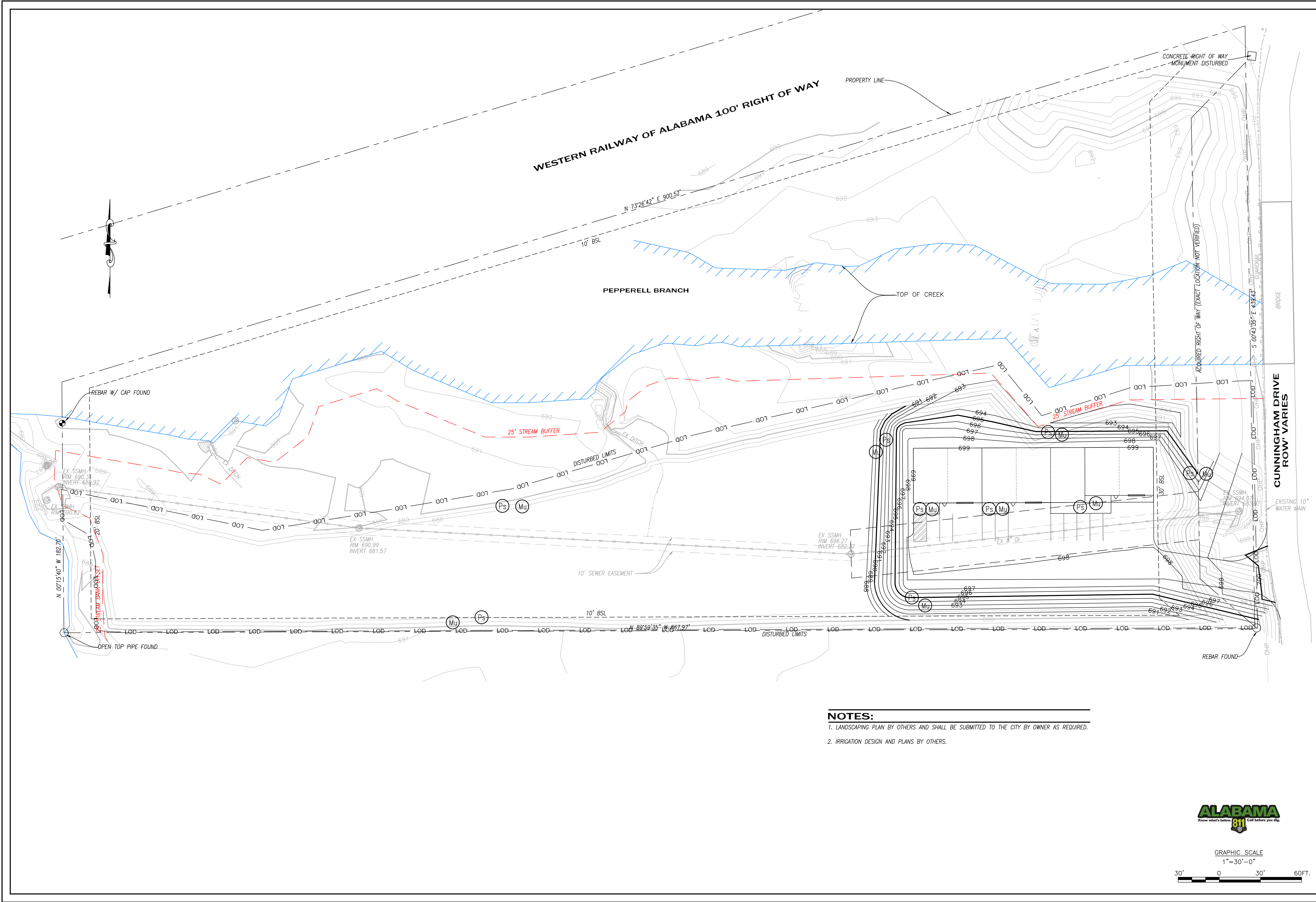
CONTRACTOR WAREHOUSES
CUNNINGHAM DRIVE
OPELIKA, ALABAMA

ISSUED:
10/15/24 REV PER CITY

JOB NO: JASON HORNE
DRAWN BY: AMH/HGS
CHECKED BY: BFL
DATE: 25 SEP. 2024
SCALE: 1"=30'-0"

SITE & UTILITY PLAN

C2.0





ENGINEERING
6053 Stage Road Auburn, Alabama 36832, 334.521.5320



ALABAMA
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CONTRACTOR WAREHOUSES
CUNNINGHAM DRIVE
OPELIKA, ALABAMA

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SCALE: 1"=30'-0"

**FINAL
EROSION
CONTROL
PLAN**

C4.2

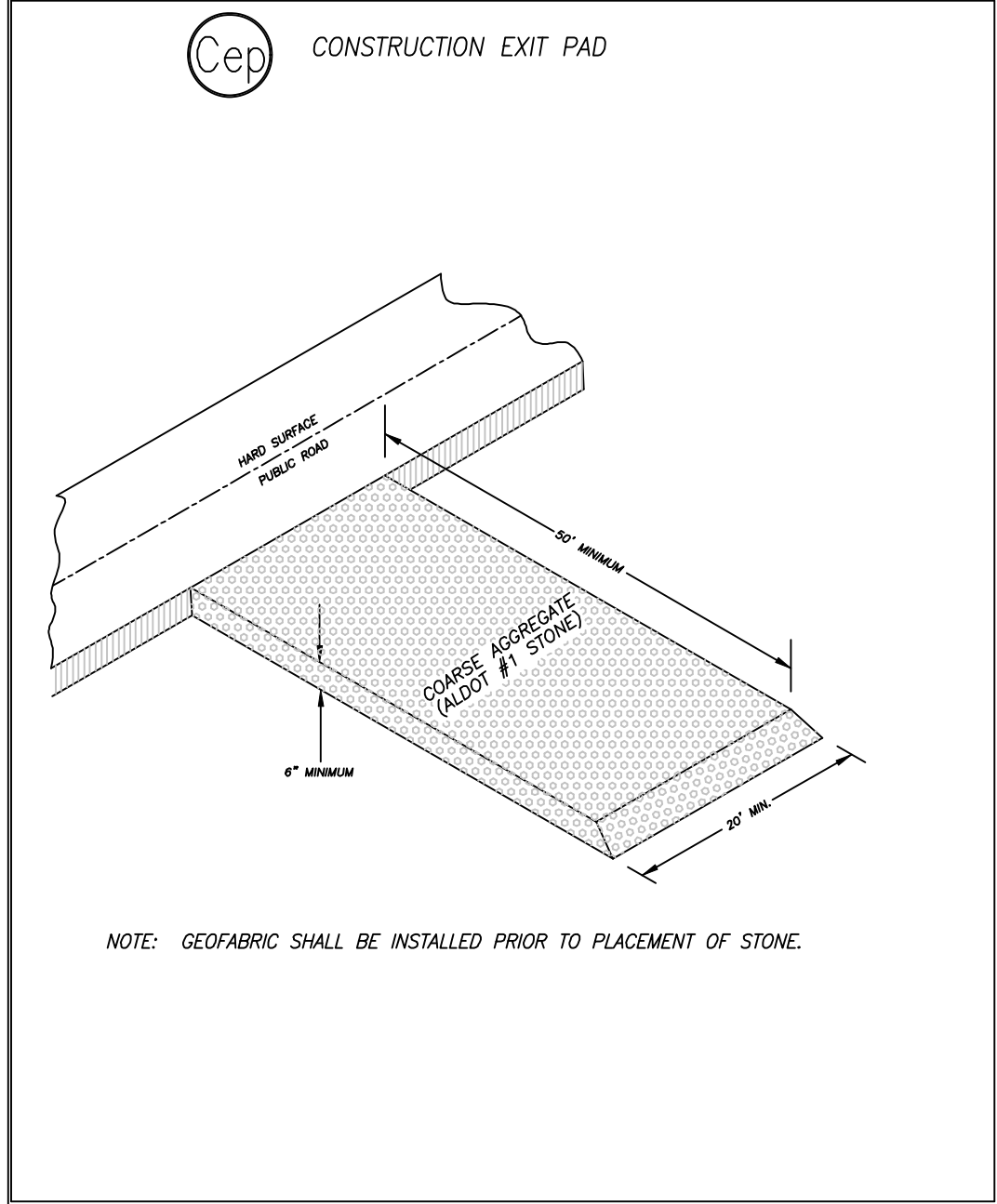
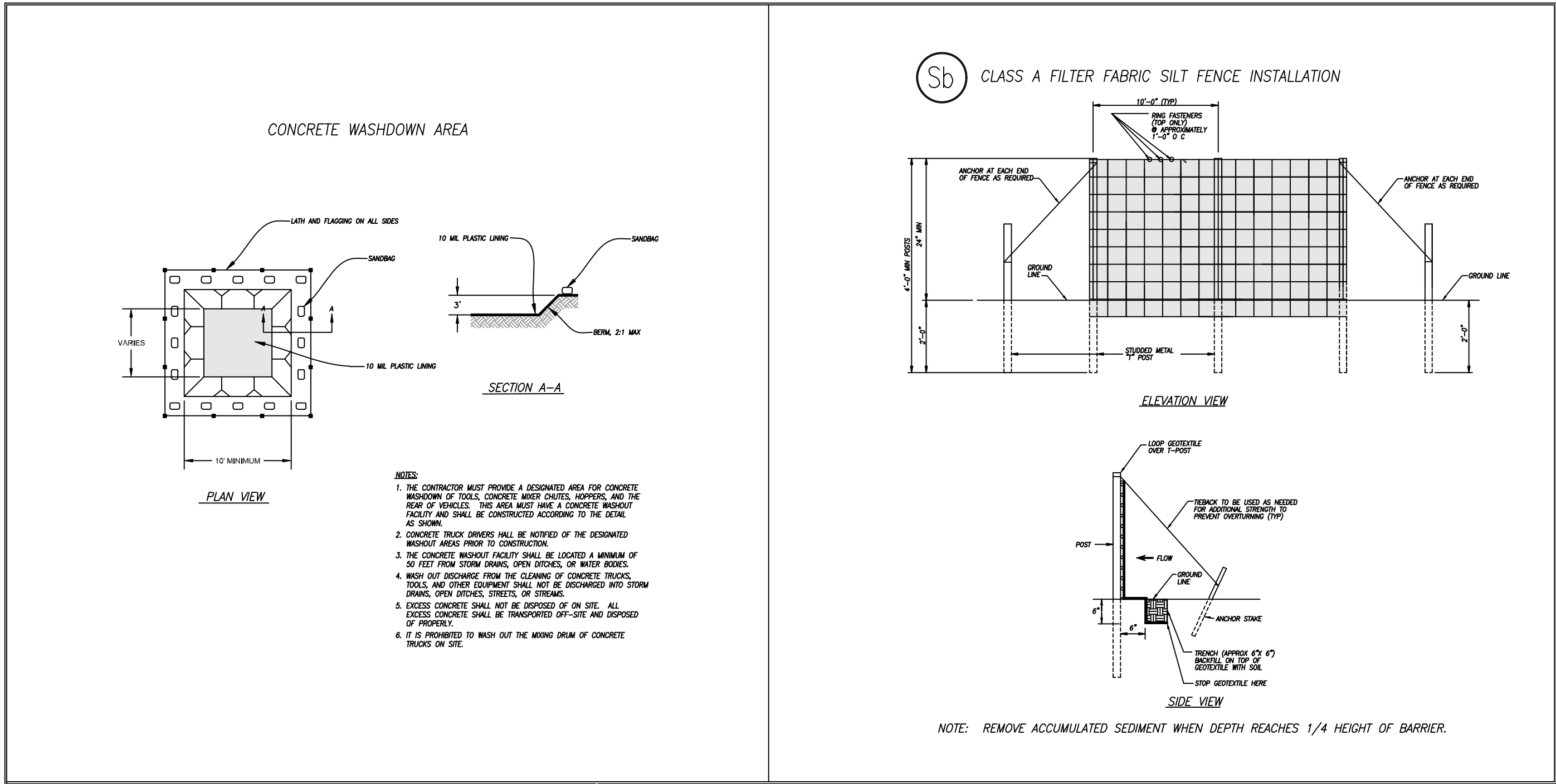
Material	Rate Per Acre and (Per 1000 ft. ²)	Notes
Straw with Seed	1 1/2-2 tons (70 lbs-90 lbs)	Spread by hand or machine to attain 75% groundcover; anchor when subject to blowing.
Straw Alone (no seed)	2 1/2-3 tons (115 lbs-160 lbs)	Spread by hand or machine; anchor when subject to blowing.
Wood Chips	5-6 tons (225 lbs-270 lbs)	Treat with 12 lbs. nitrogen/ton.
Bark	35 cubic yards (0.8 cubic yard)	Can apply with mulch blower.
Pine Straw	1-2 tons (45 lbs-90 lbs)	Spread by hand or machine; will not blow like straw.
Peanut Hulls	10-20 tons (450 lbs-900 lbs)	Will wash off slopes. Treat with 12 lbs. nitrogen/ton.
HECPs	0.75 – 2.25 tons (35 lbs – 103 lbs)	Refer to ECTC or Manufacturer's Specifications.

Species	Seeding Rate/AC PLS ²	North	Central	South
Seeding Dates				
Millet, Browntop or German	40 lbs	Apr 1-Aug 1	Apr 1- Aug 15	Apr 1-Aug 15
Rye	3 bu	Sep 1-Nov 15	Sep 15-Nov 15	Sep 15-Nov 15
Ryegrass	30 lbs	Aug 1-Sep 15	Sep 1-Oct 15	Sep 1-Oct 15
Sorghum-Sudan Hybrids	40 lbs	May 1-Aug 1	Apr 15-Aug 1	Apr 1-Aug 15
Sudangrass	40 lbs	May 1-Aug 1	Apr 15-Aug 1	Apr 1-Aug 15
Wheat	3 bu	Sep 1-Nov 1	Sep 15-Nov 15	Sep 15-Nov 15
Common Bermudagrass	10 lbs	Apr 1-July 1	Mar 15-July 15	Mar 1-July 15
Crimson Clover	10 lbs	Sept 1-Nov 1	Sept 1-Nov 1	Sept 1-Nov 1

1 DO NOT USE Seeding Rates as part of a mixture.
2 PLS means Pure Live Seed and is used to adjust seeding rates. For example, to plant 10 lbs PLS of a species with germination of 80% and purity of 90%, PLS= 0.8 X 0.9 = 72%. 10lbs PLS = 100/72 = 13.9 lbs of the species to be planted.

Species	Seeding Rates/AC PLS ²	North	Central	South
Seeding Dates				
Bahiagrass, Pensacola	40 lbs	---	Mar 1-July 1	Feb 1-Nov 1
Bermudagrass, Common	10 lbs	Apr 1-July 1	Mar 15-July 15	Mar 1-July 15
Bahiagrass, Pensacola Bermudagrass, Common	30 lbs 5 lbs	---	Mar 1-July 1	Mar 1-July 15
Bermudagrass, Hybrid (Lawn Types)	Solid Sod	Anytime	Anytime	Anytime
Bermudagrass, Hybrid (Lawn Types)	Sprigs 1/sq ft	Mar 1-Aug 1	Mar 1-Aug 1	Feb 15-Sep 1
Fescue, Tall	40-50 lbs	Sep 1-Nov 1	Sep 1-Nov 1	---
Sericea	40-60 lbs	Mar 15-July 15	Mar 1-July 15	Feb 15-July 15
Sericea & Common Bermudagrass	40lbs 10 lbs	Mar 15-July 15	Mar 1-July 15	Feb 15-July 15
Switchgrass, Alamo	4 lbs	Apr 1-Jun 15	Mar 15-Jun 15	Mar 15-Jun 15

1 DO NOT USE Seeding Rates as part of a mixture unless shown as a mixture in this table.
2 PLS means Pure Live Seed and is used to adjust seeding rates. For example, to plant 10 lbs PLS of a species with germination of 80% and purity of 90%, PLS= 0.8 X 0.9 = 72%. 10lbs PLS = 100/72 = 13.9 lbs of the species to be planted.



STRUCTURAL PRACTICES FOR BEST MANAGEMENT PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Cep	CONSTRUCTION EXIT PAD			A crushed stone pad located at the construction site exit to provide a place for removing mud from tires thereby protecting public streets. It shall be installed at all points of ingress and egress to the site.
Lg	LAND GRADING			Reshaping of the ground surface
Tsg	TOPSOILING			The practice of stripping off the more fertile top soil, storing it, then spreading it over the disturbed area after the completion of construction activities. Spread/re-spread minimum of 4" to all surfaces to host vegetation.
SURFACE STABILIZATION				
Dc	DUST CONTROL ON DISTURBED AREAS			Controlling surface and air movement of dust on construction sites, roadways and similar sites.
Ecb	EROSION CONTROL BLANKET			A blanket or mat used in establishing a temporary or permanent vegetative cover to provide erosion control on slopes where erosion hazard is high. Plans to indicate class of blanket. Install per manufacturer. It shall be used in conjunction with permanent vegetation.
Mu	MULCHING			Establishing temporary protection for disturbed areas where seeding may not have a suitable growing season to produce an erosion retarding cover.
Ps	PERMANENT SEEDING			Establishing a permanent vegetative cover with perennial vegetation on disturbed areas.
Pv	PRESERVATION OF VEGETATION			Avoidance of an area during land disturbing and construction activity to prevent mechanical and other injury to desirable plants in the planned landscape.
Sod	SODDING			The use of transplanted vegetative cover to provide immediate erosion control in disturbed areas.
Ts	TEMPORARY SEEDING			Establishing a temporary vegetative cover with fast growing seeding on disturbed areas.

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Cd	CHECKDAMS			A small temporary barrier or dam constructed across a swale, drainage ditch or area of concentrated flow.
Dv	DIVERSION			An earth channel or dike located above, below or across a slope to divert runoff. This may be a temporary or permanent structure.
Gs	GRASS SWALE			A natural or constructed channel shaped or graded for the stable conveyance of runoff
Op	OUTLET PROTECTION			A paved or short section of riprap channel at the outlet of a storm drain system preventing erosion from the concentrated runoff.
Rs	RIPRAP-LINED SWALE			A natural or constructed channel with an erosion resistant rock lining designed to carry concentrated runoff to a stable outlet.
SEDIMENT CONTROL				
Bfb	BRUSH/FABRIC BARRIER			A dam-like structure constructed of woody residue and faced with a geotextile fabric to provide a temporary sediment basin during clearing and grubbing operations.
Ip	INLET PROTECTION			A device or structure placed around a storm drain inlet to prevent sediment from entering storm drains during construction as a temporary sediment filter. May be woven geotextile barrier, "Silt Saver", or "wattles". No hay bales.
Fs	FILTER STRIP			A wide belt of vegetation designed to provide infiltration, intercept sediment and reduce stormwater flow and velocity.
Rd	ROCK FILTER DAM			A permanent or temporary stone filter dam installed across small streams or drainageways.
Sb	SEDIMENT BARRIER			A barrier to prevent sediment from leaving the construction site. It may be sandbags, wattles, logs and poles, gravel, sediment fence, or a combination thereof. The barriers are usually temporary and inexpensive.
Sbn	SEDIMENT BASIN			A basin created by excavation or a dam across a waterway. The surface water runoff is temporarily stored allowing the bulk of the sediment to drop out. The basin is usually temporary but may be designed as a permanent pond or stormwater retention device.
STORMWATER MANAGEMENT				
Sdb	STORMWATER DETENTION BASIN			A dam-basin designed to hold stormwater runoff and release the water slowly to prevent downstream flooding and stream erosion.
STREAM PROTECTION				
Bz	BUFFER ZONE			An undisturbed natural "green belt" separating the land-disturbed site from surrounding property and bordering streams. It serves to reduce water velocity and remove some sediment. It is also at times a noise or vision pollution barrier.
Cs	CHANNEL STABILIZATION			Improving, constructing or stabilizing an open channel, existing stream, or ditch.
Tsc	TEMPORARY STREAM CROSSING			A temporary bridge or culvert-type structure protecting a stream or watercourse from damage by crossing construction equipment. USACE Permit may be required.



CONTRACTOR WAREHOUSES
CUNNINGHAM DRIVE
OPELIKA, ALABAMA

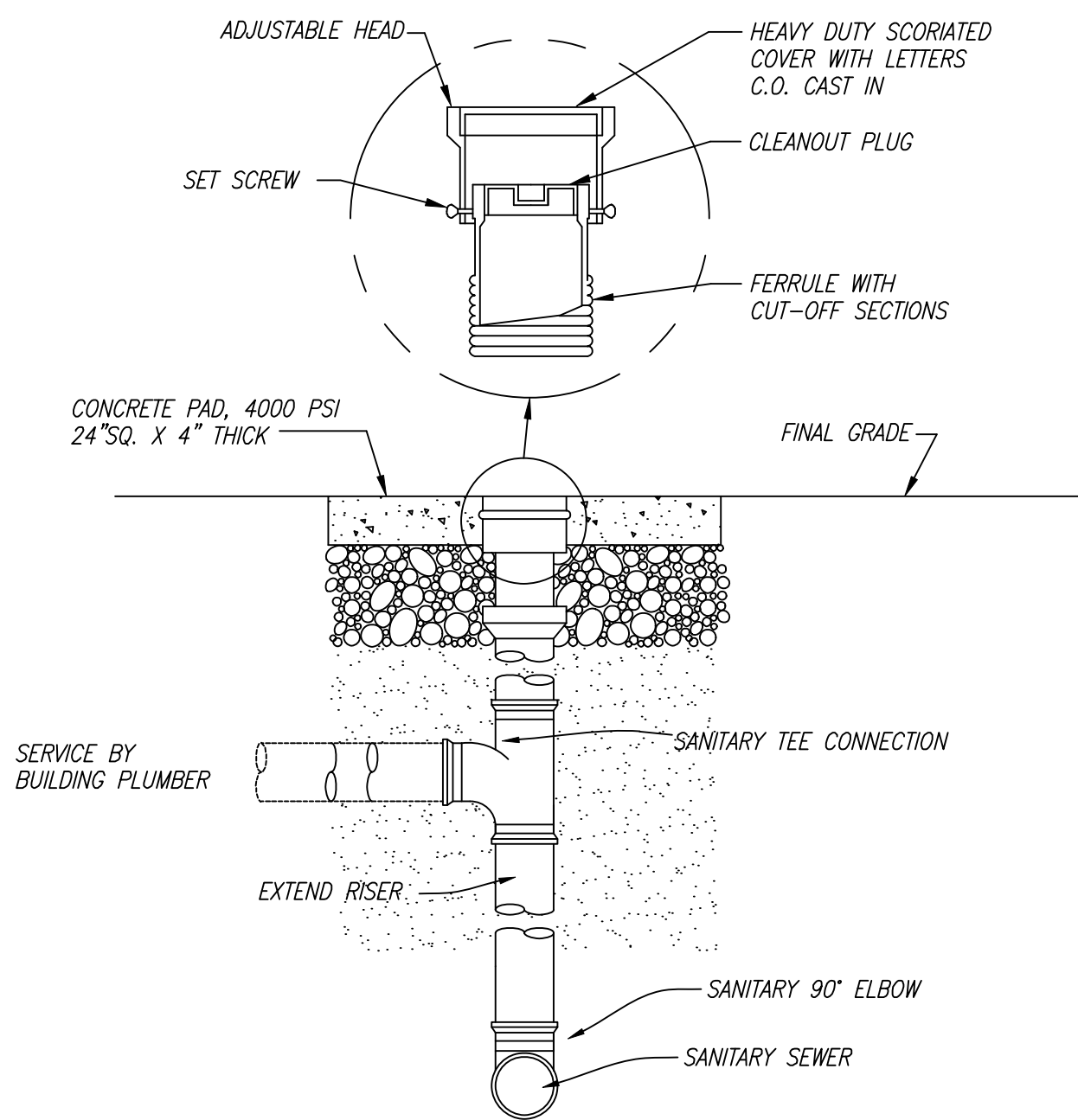
ISSUED:
10/15/24 REV PER CITY

JOB NO: JASON HORNE
DRAWN BY: AMH/HGS
CHECKED BY: BFL
DATE: 25 SEP. 2024
SCALE: NONE

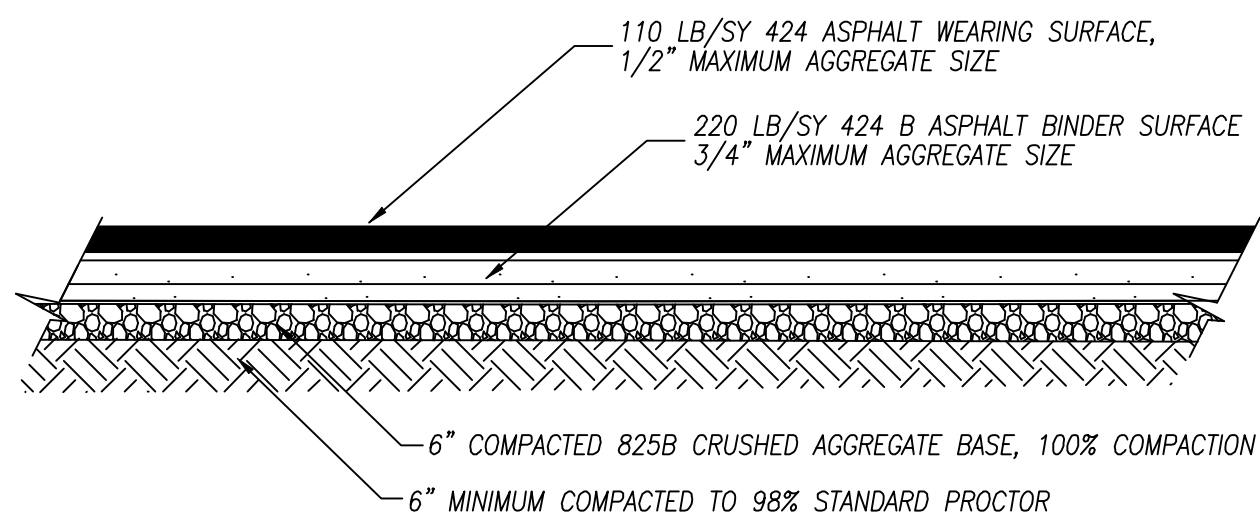
EROSION CONTROL DETAILS

C4.3



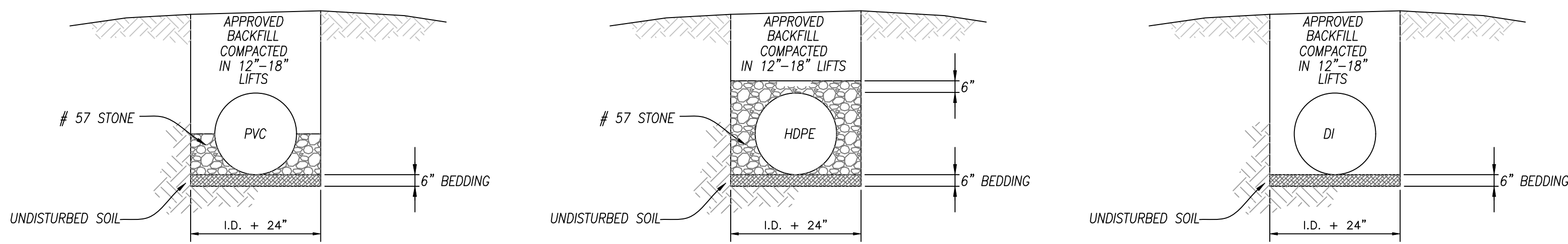


CLEAN OUT TO GRADE - SANITARY SEWER CONNECTION AT BUILDING
N.T.S.



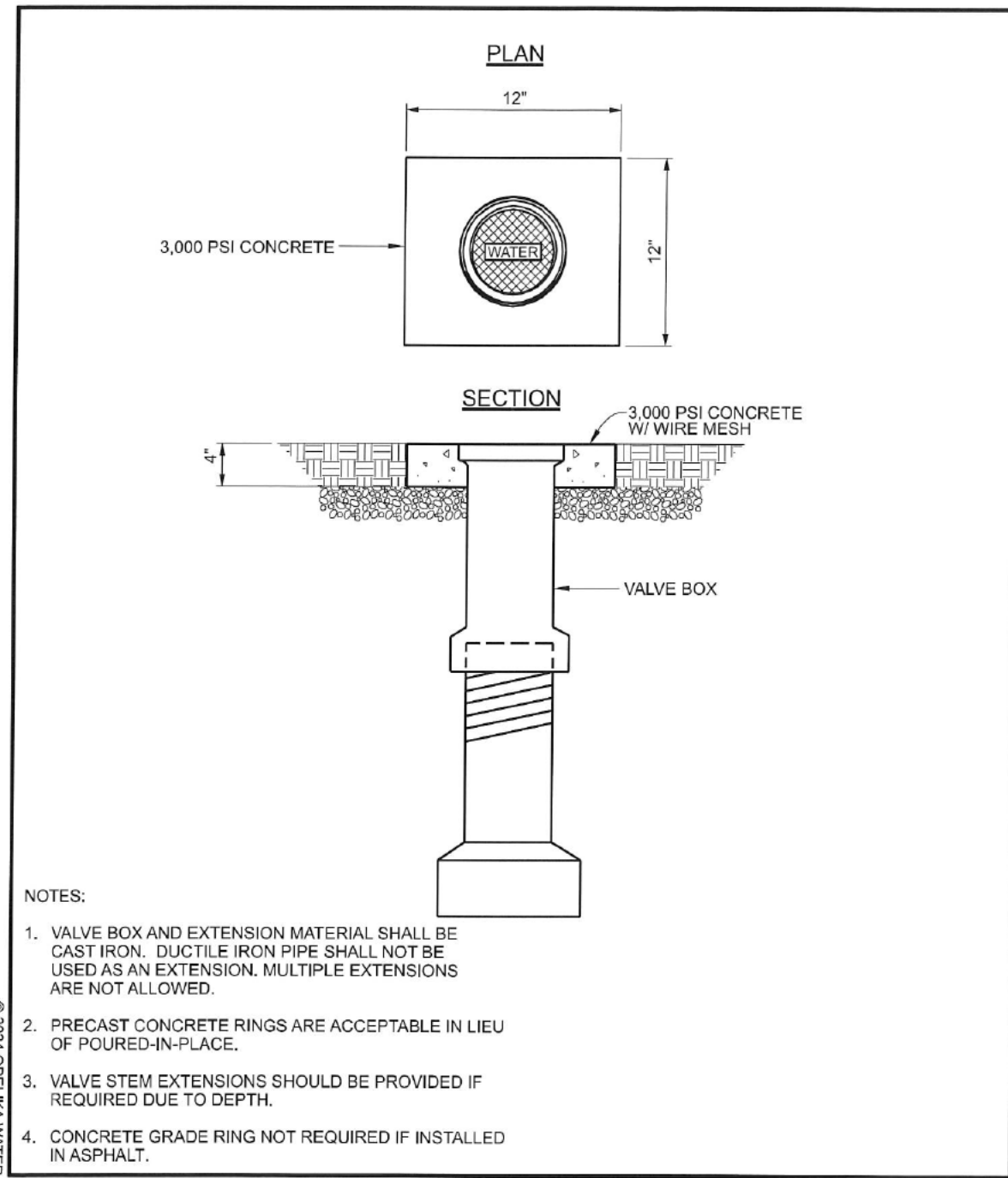
- NOTES:
1. ALL MATERIALS AND METHODS OF PLACEMENT SHALL CONFORM TO ALDOT STANDARDS SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, MOST RECENT EDITION.

ASPHALT BUILD UP DETAIL
N.T.S.



BEDDING REQUIREMENTS FOR TRENCHES
N.T.S.

- NOTES:**
1. ALTERNATIVE BACKFILL MATERIAL MUST BE APPROVED BY THE PROJECT ENGINEER PRIOR TO USE.
 2. BEDDING MATERIALS FOR PVC & HDPE PIPE SHALL BE 1/4" TO 1/2" GRADED CRUSHED STONE SUCH AS 56, 57, 6, 67, 68, 7, OR 78 STONE PER ALDOT STANDARD SPECS. SAND OR GRAVEL MAY BE USED AS BEDDING MATERIAL FOR DI PIPE.
 3. WIDTH OF TRENCH VARIES, BASED ON WALL STABILITY. UNSTABLE WALL WIDTHS TO BE A MINIMUM OF FIVE TIMES THE PIPE DIAMETER.

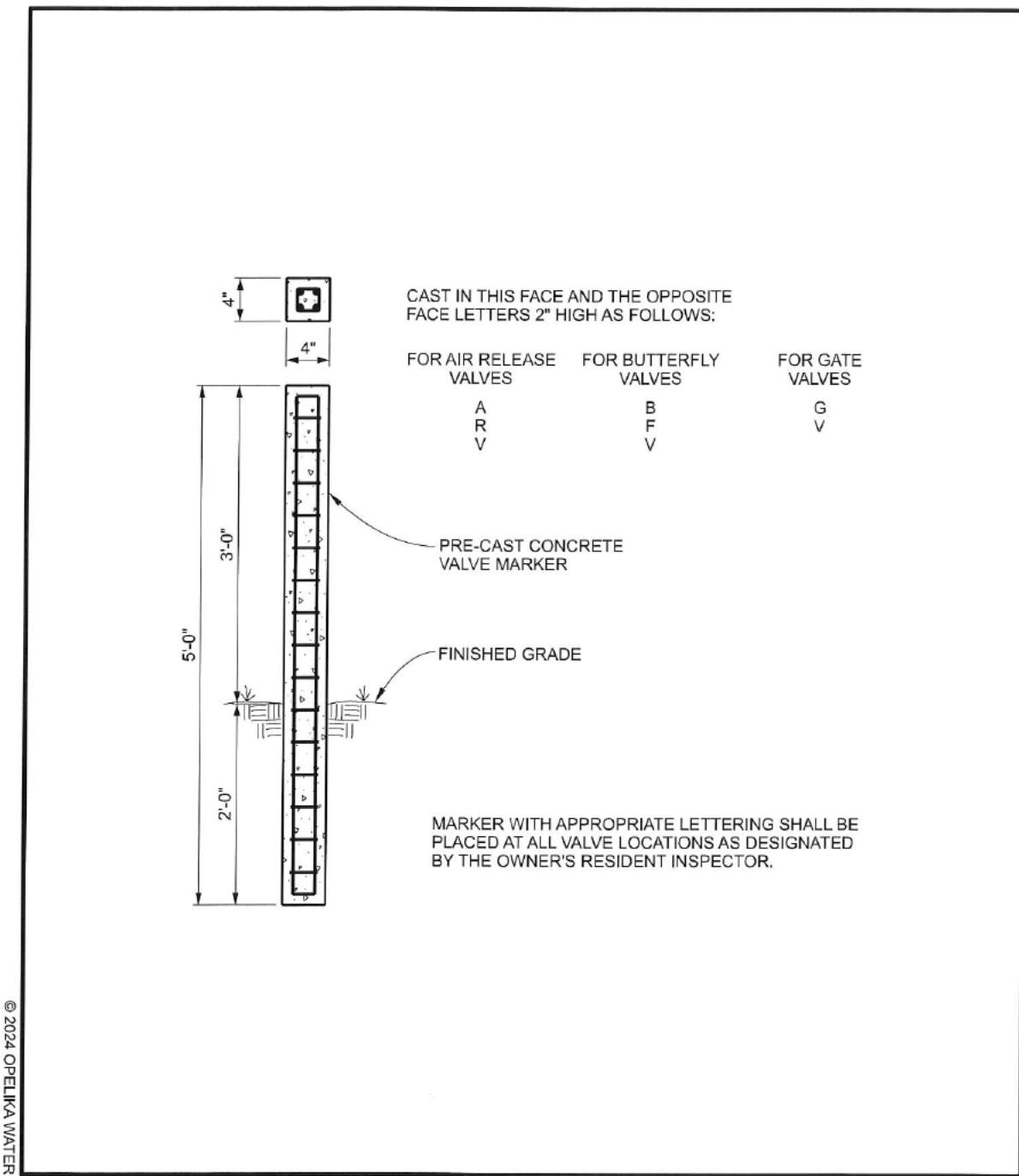


- NOTES:
1. VALVE BOX AND EXTENSION MATERIAL SHALL BE CAST IRON. DUCTILE IRON PIPE SHALL NOT BE USED AS AN EXTENSION. MULTIPLE EXTENSIONS ARE NOT ALLOWED.
 2. PRECAST CONCRETE RINGS ARE ACCEPTABLE IN LIEU OF POURED-IN-PLACE.
 3. VALVE STEM EXTENSIONS SHOULD BE PROVIDED IF REQUIRED DUE TO DEPTH.
 4. CONCRETE GRADE RING NOT REQUIRED IF INSTALLED IN ASPHALT.

DT-03

THE WATER WORKS BOARD OF THE CITY OF OPELIKA
STANDARD CONSTRUCTION DETAILS
OPELIKA, ALABAMA

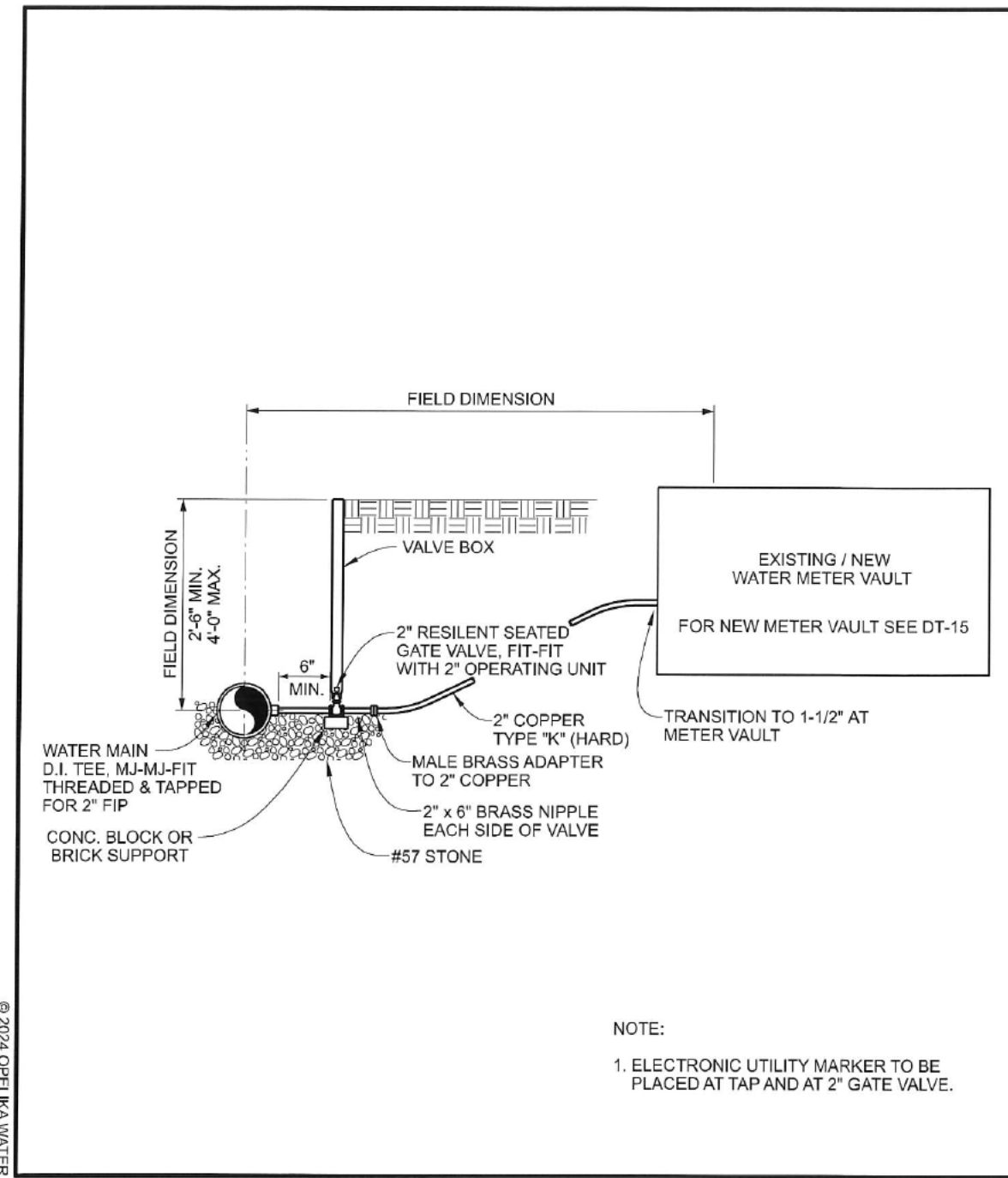
OPELIKA WATER



DT-04

THE WATER WORKS BOARD OF THE CITY OF OPELIKA
STANDARD CONSTRUCTION DETAILS
OPELIKA, ALABAMA

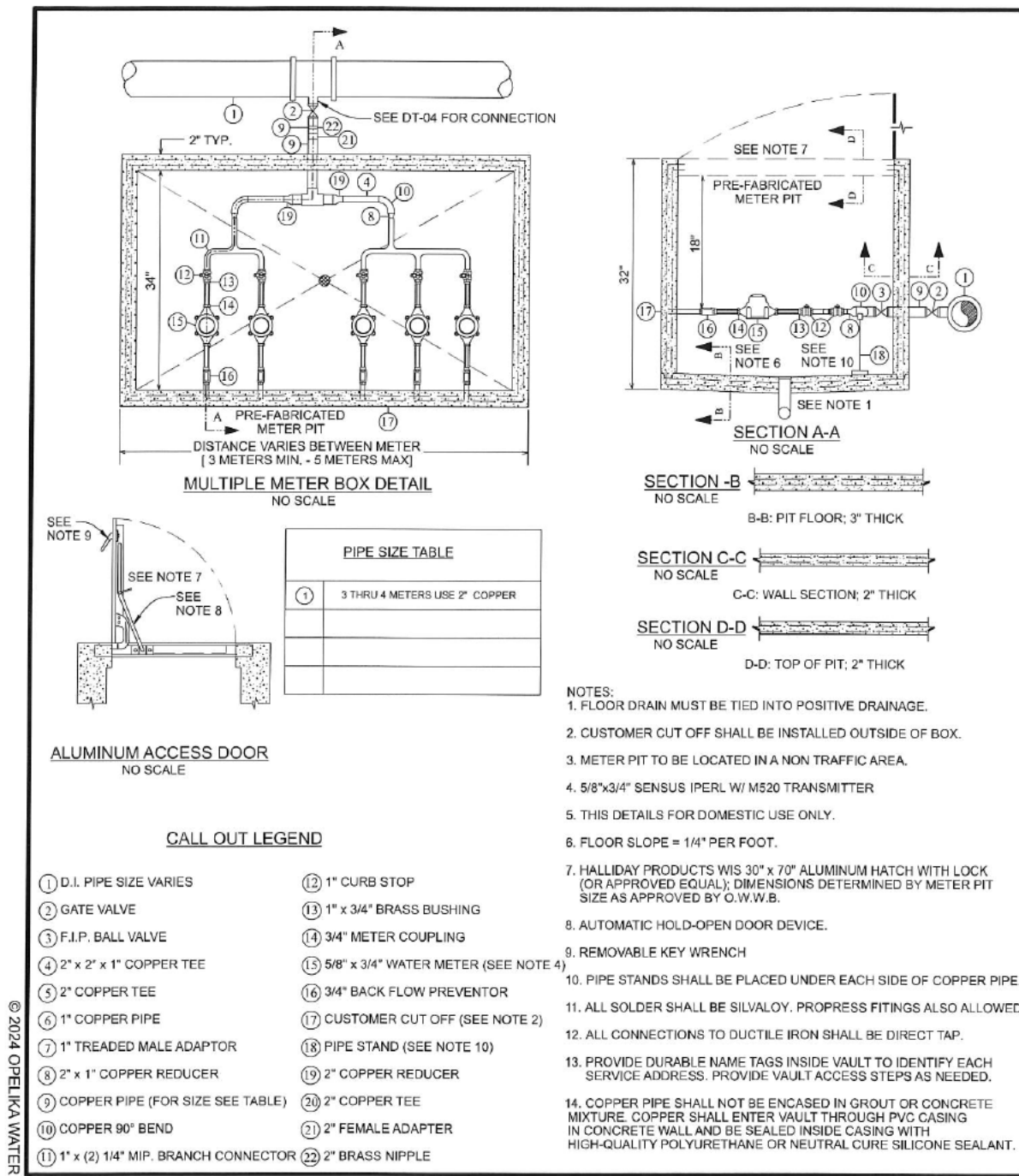
OPELIKA WATER



DT-09

THE WATER WORKS BOARD OF THE CITY OF OPELIKA
STANDARD CONSTRUCTION DETAILS
OPELIKA, ALABAMA

OPELIKA WATER



DT-10

THE WATER WORKS BOARD OF THE CITY OF OPELIKA
STANDARD CONSTRUCTION DETAILS
OPELIKA, ALABAMA

OPELIKA WATER

City of Opelika
Planning Commission
Planning Department Report

Meeting Date: October 22, 2024

Agenda Item #: D-9

Action Requested: Rezoning to C-1(Downtown Commercial District)

Location of Property: 1001 1st Ave

Property Owner(s): Barnes and Horton, LLC
Josh O’Neal, authorized representative

Current Land Use: Warehouse

Current Zoning: C-3 (General Commercial), GC-S

Adjacent Zoning/Land Use: North: C-3/GC-S (commercial)
South: C-2/GC-S (depot warehouse)
East: C-1/GC-S (warehouse)
West: C-3/GC-S (office)

Staff Comments:

The applicant requests to rezone the property at 1001 1st Avenue from C-3 General Commercial to C-1 Downtown Commercial District. The property would remain in the Gateway Corridor-Secondary. The Downtown Commercial District is characterized by lot line to lot line construction. The subject property is approximately 10,890 square feet or 0.25 acres. The applicant has proposed a lounge to occupy the 1001 1st Avenue structure. The rezoning from C-3 to C-1 would allow the proposed uses for these structures to extend the downtown commercial uses and downtown commercial connections across 10th Street.

The opposite side of 10th Street is in the C-1 zone. The building located on this property is extremely close to the 10th Street right-of-way and the 1st Avenue right-of-way. It is considered non-conforming in the C-3 zone, but would be conforming from a setback standpoint in the C-1 zone because it does not have setbacks.

The C-1 zone is characterized by urban buildings that often extend from property line to property line. Most parcels also lack onsite parking but generally have on street parking available. This parcel is consistent from setback standpoint. It does have some internal parking and the warehouse building is not very consistent with most of the historic downtown buildings. The

rezoning would also cure some of the existing nonconformities of these buildings in relation to the C-3 zone, particularly in regards to setbacks and parking.

The Downtown Commercial District of C-1 uses that would be allowed by right in this zone are defined in the ordinance as “central business core of Opelika located in the old historic downtown area. Uses include retail, office, banking, insurance, government, food service, high density residential, service, and limited light assembly and manufacturing. This zone can be characterized by lack of off-street parking and mixed uses (Section 6.4 Purpose and Intent of Zoning Districts).

Staff recommends a positive recommendation to City Council to rezone from C-3 to C-1.

Engineering Department Report

Engineering has no comments regarding the proposed rezoning.

Opelika Water Board Report

Water is available from 1st Avenue & 10th Street.

Opelika Power Services Report

This property is in Opelika Power Services territory.



REZONING APPLICATION
 PLANNING DEPARTMENT
 700 FOX TRAIL
 OPELIKA, AL 36801



PC DEADLINE: 10-1-24 PC MEETING: 10-22-24

PROPERTY OWNERS/
 AUTHORIZED REPRESENTATIVE: Josh O'Neal
 MAILING ADDRESS: 1471 Lee Rd 294 Smith AL 36877
 PHONE NUMBER: 706 566 2224 Email: Thehooch34@gmail.com

PARCEL INFORMATION

Site Address: 1001 1st Ave Opelika AL
 Description of proposed use: Event/Lounge license

Tax Parcel Number: 1003073001132001
 Adjacent Zoning Districts: North: _____ South: _____ East: _____ West: _____

Current Land Use: C-
 Current Zoning: C-3
 Proposed Zoning: C-1
 Number of APO: _____ x \$7.00 = \$ _____
 (Adjacent Property Owners)
 Fee: \$125.00
 TOTAL = _____

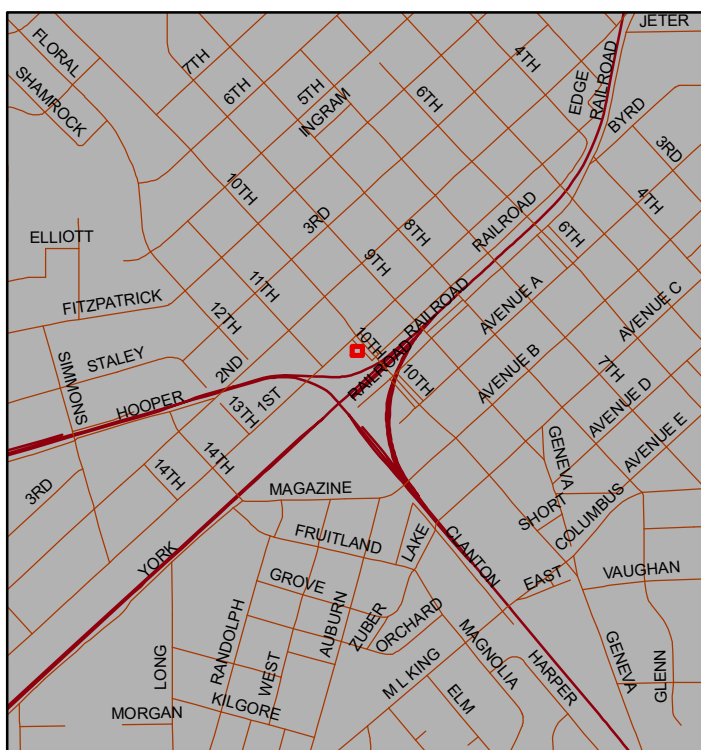
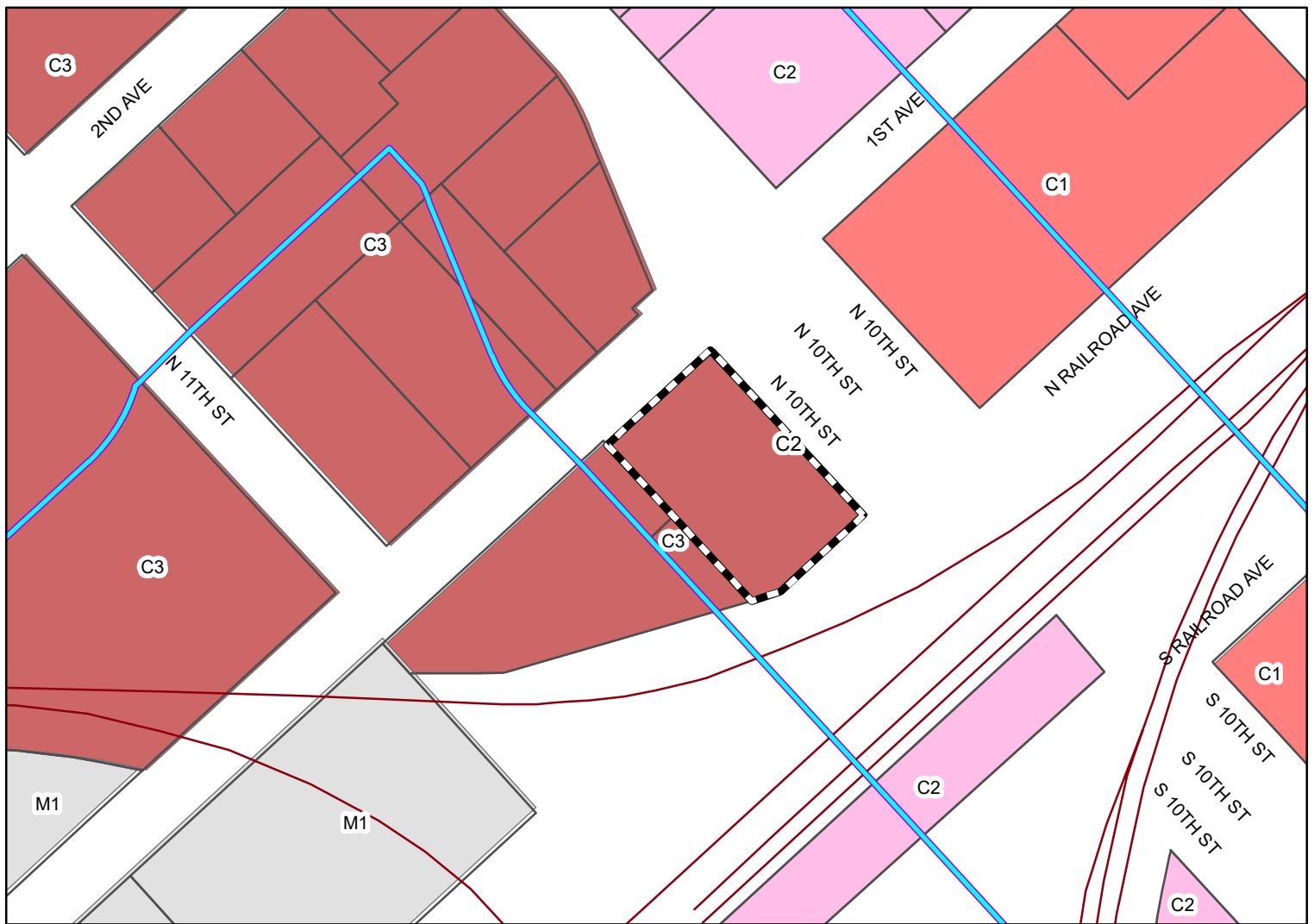
PAID: _____

I hereby request my property located at (street address) _____,
 Tax Map parcel number _____ be rezoned from
 _____ to _____. A copy of the tax area map, a survey of the property, a copy of the deed
 for the property, and the names and addresses of all adjoining property owners are enclosed. I understand
 that the City may require additional information, or waive certain requirements, at any time during the process.

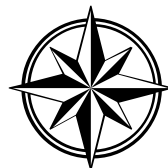
OWNERS OR AUTHORIZED REPRESENTATIVE SIGNATURE:	
(PRINT NAME)	
	DATE

* BARBARA MAINTAIN HIS CURRENT LICENSE
 PENDING THIS DUE DILIGENCE PROCESS.

LOUNGE & SPECIAL EVENT 1001 1ST AVENUE REZONING & CONDITIONAL USE, D9-D10



The applicant is requesting approval for a lounge and special event use on a 10,890 sf property. The rezoning is from C-3, GC-S to a C-1 (downtown district).



Subject Property

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**City of Opelika
Planning Commission
Planning Department Report**

Meeting Date: October 22, 2024

Agenda Item #: D-10

Action Requested: Conditional Use – Lounge

Location of Property: 1001 1st Avenue

Property Owner(s): Barnes and Horton, LLC.
Joshua O’Neal, authorized representative

Current Land Use: Warehouse

Current Zoning: C-3 (proposed rezoning to C-1), GC-S

**Surrounding Zoning Districts
And Land Uses:**

North: C-3/GC-S (commercial)
South: C-2/GC-S (depot warehouse)
East: C-1/GC-S (warehouse)
West: C-3/GC-S (office)

Proposal:

The applicant requests conditional use approval for a lounge (Whisky Rail Saloon) serving beer, wine, and liquor. The same applicant previously received conditional use approval for a similar use at the former Twice Baked on S. Railroad Avenue. This site is approximately 10,890 square feet located at the intersection of 1st Avenue and the ramp from S. 10th Street on to N. Railroad Avenue. The building is parallel to the 10th Street overpass adjacent to the railroad.

The applicant’s hours of operation are primarily 8:00 p.m. to 2:00 a.m., with occasional events opening at 2:00 p.m. on Saturdays. The operation would include live music and dancing. No food will be served.

The floor plan shows the entire building is 7,500 square feet (sq. ft.). The lounge, bar, and live music area is approximately 5,000 sq. ft. on the floor plan. The applicant expects occupancy based on preliminary layouts to be in the range of 500 to 600 patrons (final occupancy will be determined by the architectural plans and building and fire codes). The applicant expects to have about ten (10) employees on the busiest shift. The remaining areas will be bathrooms, ingress and egress, and an office. This business will have a bar area, stage area for live music,

¹ Lounge. Any place or premise in which liquor or wine is offered for sale or consumption within the building in which the establishment is located and which meets the minimum requirements of the Alabama Alcoholic Beverage and Control Board and Chapter 3, Alcoholic Beverages of the Opelika City Code.

and dancing. All the life safety and building codes will have to be met, including but not limited to multiple egress areas, increase restroom facilities, and fire suppression systems.

The property is in the C-3 zoning district, but the applicant has requested to rezone the property to C-1. In the C-1 district, there are no minimum parking spaces or landscape requirements. There is some area behind the building that could potential provide some parking areas. Most of the parking would have to come from surrounding public parking. This site is a two blocks from the last location which will make it slightly farther from a majority of downtown parking. There are approximately 16 spaces adjacent under the bridge. Other spaces would be along North and South Railroad Avenue and near the Depot. Due to the operational hours, many downtown businesses will likely be closed and will not compete for parking.

At the last conditional use request there was some concern over noise. This site appears to be better situated to prevent noise impacting other uses. There should still be some attempts to reduce noise from leaving the building.

It is unclear at this time, whether the building will be improved on the exterior. There are two doors on the exterior of the building including one on the ramp side leading to the sidewalk and one on the internal side of the building. Staff is not sure whether both will be used as primary entrances. If the side along the ramp is used, it is important that the sidewalk remain passable and any lines not interfere with vehicular traffic. If parking is proposed on the rear (internal) side, this should be improved with either concrete or asphalt and include accessible spaces. Both the Police and Fire Department are concerned about how the building could be accessed in an emergency. They have recommended a fire lane be maintained behind this building for access purposes.

Any dumpster located on this site shall be located behind the building and fully screened with a privacy fence and/or landscaping. The site shall meet any screening requirements of the C-1 zone.

Recommendation: While the Planning Department is appropriate here, there are some concerns that need to be addressed prior to approval. Of particular concern are the safety issues raised by the Police and Fire Departments and how the area behind the building will be altered. If the use is approved the Planning Department recommends the following conditions:

- 1. Subject to approval of the rezoning from C-3 to C-1.**
- 2. The building must be upgraded to meet the building and fire code requirements.**
- 3. The entryways shall be clarified to ensure that any queues or lines do not interfere with pedestrian or vehicular access.**
- 4. Any dumpsters shall be fully screened with a privacy fence and/or landscaping meeting the requirements for the C-1 zone.**

¹ Lounge. Any place or premise in which liquor or wine is offered for sale or consumption within the building in which the establishment is located and which meets the minimum requirements of the Alabama Alcoholic Beverage and Control Board and Chapter 3, Alcoholic Beverages of the Opelika City Code.

5. **The applicant shall reduce or abate the noise leaving the building and comply with city noise ordinances.**
6. **The applicant shall coordinate with the Police and Fire Departments to ensure that emergency access to the building shall be maintained.**

Engineering Department Report

Engineering has not comments regarding the proposed Conditional Use application.

Opelika Water Board Report

Water is available from 1st Avenue & 10th Street.

Opelika Power Services Report

This property is in Opelika Power Services territory.

¹ Lounge. Any place or premise in which liquor or wine is offered for sale or consumption within the building in which the establishment is located and which meets the minimum requirements of the Alabama Alcoholic Beverage and Control Board and Chapter 3, Alcoholic Beverages of the Opelika City Code.

060395-2024

AGENDA ITEM # 10



**APPLICATION FOR
CONDITIONAL USE APPROVAL**
PLANNING DEPARTMENT
700 FOX TRAIL
OPELIKA, AL 36801



PC DEADLINE: 10-1-24 PC MEETING: 10-22-24

SITE ADDRESS: <u>1001 First Ave Opelika AL</u>	
PROPERTY OWNER: <u>Herman Barnes</u>	
APPLICANT/ AUTHORIZED REPRESENTATIVE: _____	
MAILING ADDRESS: <u>1471 Cummings Rd, Smith AL 36877</u>	
PHONE NUMBER: <u>706 566 2224</u>	FAX NUMBER: _____
EMAIL ADDRESS: <u>Specialty/Event/Recording Thehook34@gmail.com</u>	

PARCEL INFORMATION

Project name: Whiskey Railroad Address/Location: 1001 1st Ave Opelika AL
Current Land Use: Specialty/Event/Recording Current Zoning: _____
Adjacent Zoning Districts: North: _____ South: _____ East: _____ West: _____
Description of Proposed Use: _____

AUTHORIZATION TO ACT AS APPLICANT (if applicable)

I, Herman Barnes, being owner of the property which is the subject of this conditional use application hereby authorize Josh O'Neal, to act as my representative before the City of Opelika's Planning Commission, and if necessary, represent me before the Board of Zoning Adjustments and City Council.

Property Owner's Signature: [Signature] Date: 9/30/24

STATE OF ALABAMA,

COUNTY OF LEE

I, Jennifer Phurrough, a Notary Public in and for said County and State, hereby certify that Herman Barnes, whose name is signed to the foregoing document, and who is known to me or acknowledged before me on this day, that being informed of the contents of said document, did execute the same voluntarily on the day that bears the same date.

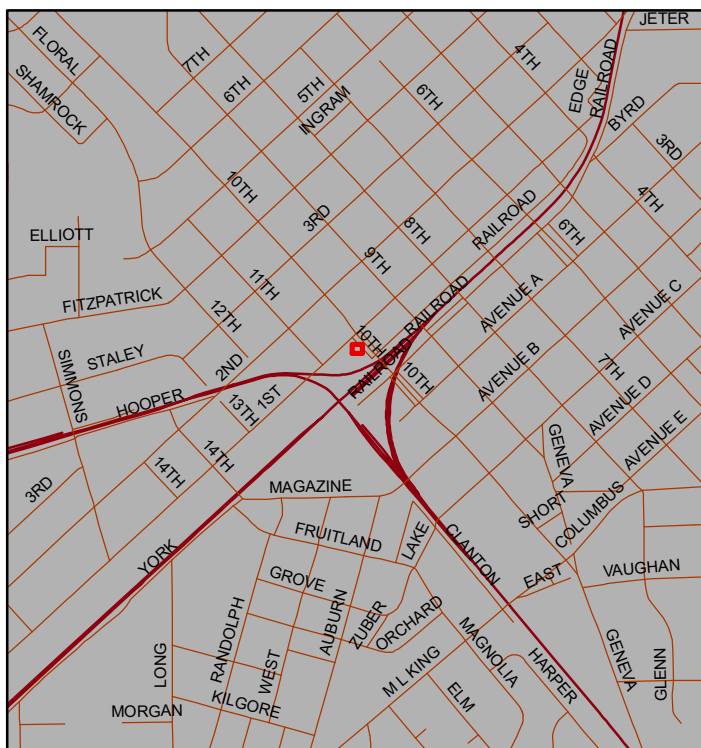
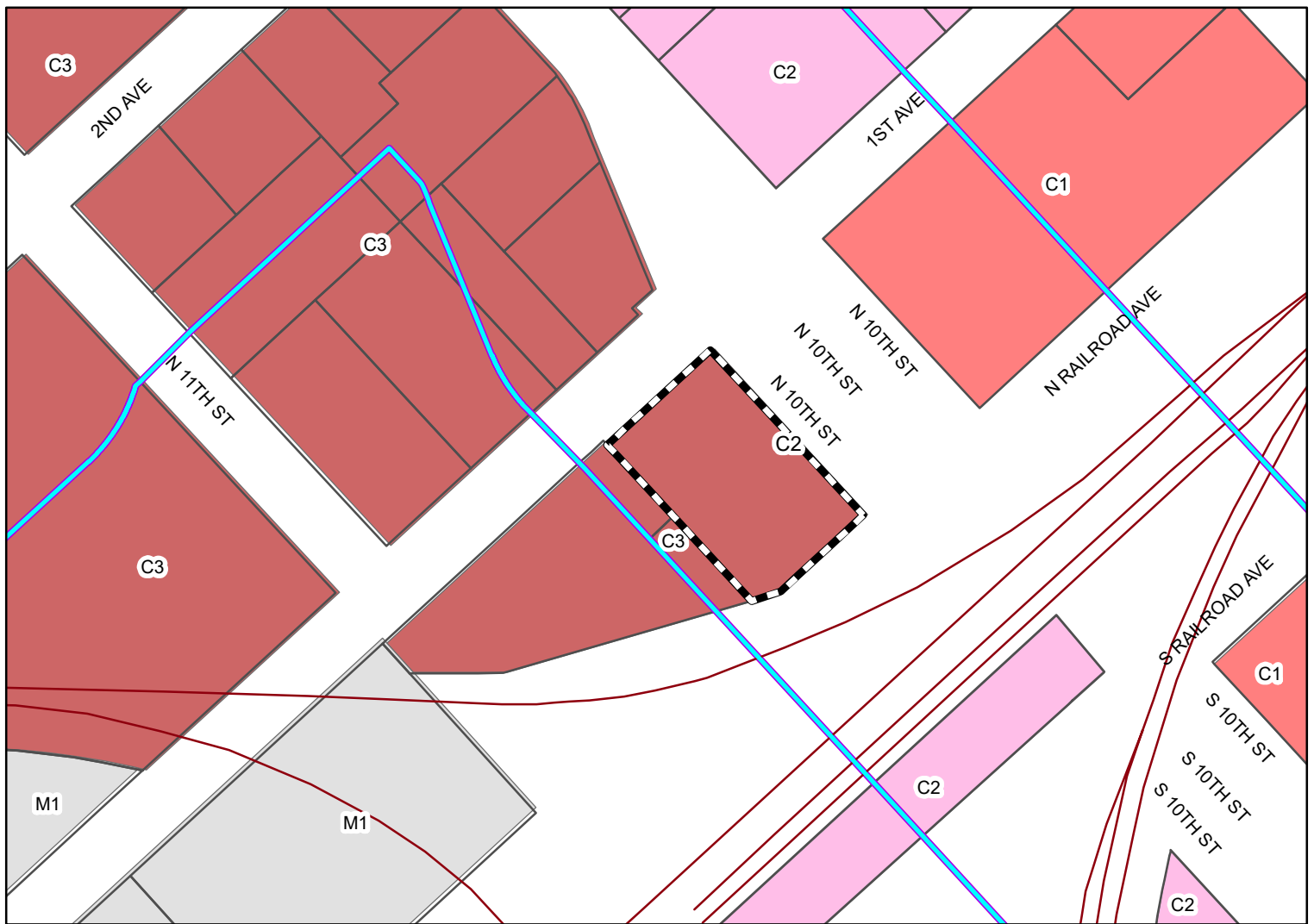
Given my hand and seal of office this 30 day of September 2024,

[Signature]
Notary Public

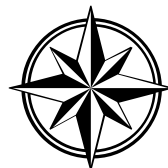
My Commission Expires: 2/21/28



LOUNGE & SPECIAL EVENT 1001 1ST AVENUE REZONING & CONDITIONAL USE, D9-D10



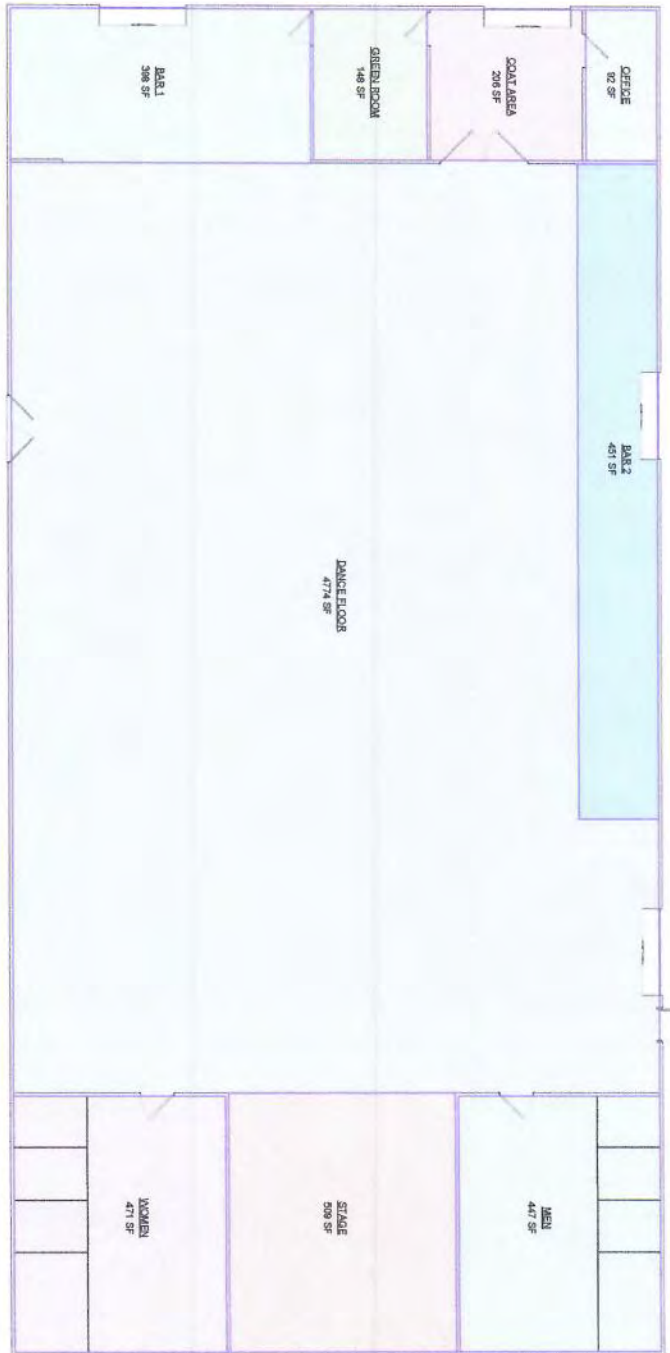
The applicant is requesting approval for a lounge and special event use on a 10,890 sf property. The rezoning is from C-3, GC-S to a C-1 (downtown district).



Subject Property

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2
MAIN FLOOR
37,414 SF



OWNER

AREA CALCULATIONS

Room	Area	Volume
Office	82 SF	1,640 CU FT
Bar 2	451 SF	9,020 CU FT
Coat Area	206 SF	4,120 CU FT
Green Room	148 SF	2,960 CU FT
Bar 1	398 SF	7,960 CU FT
Men	447 SF	8,940 CU FT
Stage	509 SF	10,180 CU FT
Women	471 SF	9,420 CU FT
Dance Floor	4774 SF	95,480 CU FT
Total	7,486 SF	149,720 CU FT

FINISHES

WALL	1/2" GYP
FLOOR	4" GYP
CEILING	1/2" GYP

O'NEIL

WALL LEGEND

1/2" GYP	1/2" GYP
4" GYP	4" GYP
1/2" GYP	1/2" GYP

DOOR INDEX

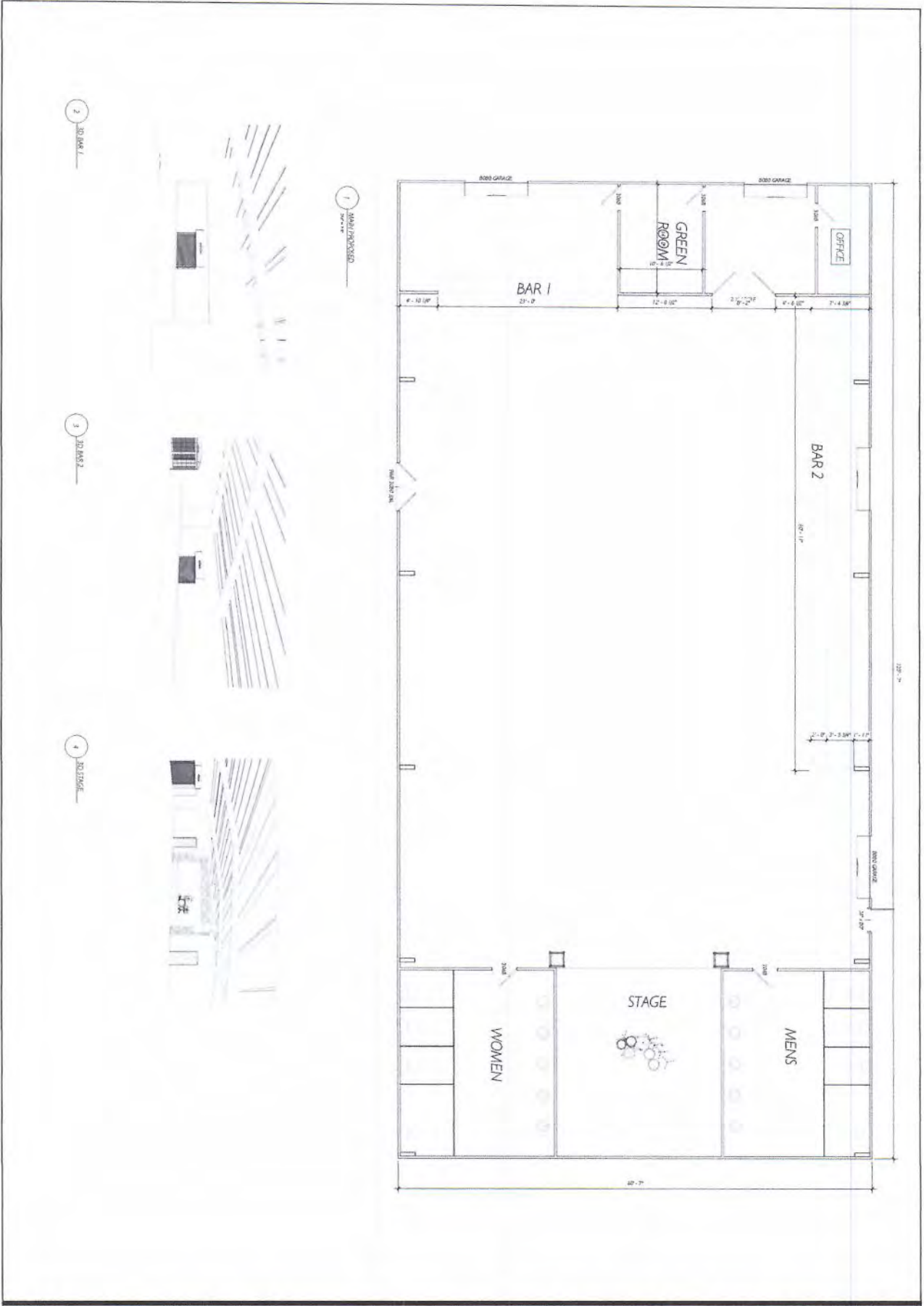
Door	Size	Material
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4	36" x 80"	1/2" GYP
5	36" x 80"	1/2" GYP
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10	36" x 80"	1/2" GYP
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99	36" x 80"	1/2" GYP
100	36" x 80"	1/2" GYP

10/1/2020

SCHEMATIC

AREA PLAN

A3-3



CITY OF OPELIKA
Planning Commission
Planning Department Report

Meeting Date:	October 22, 2024
Agenda Item:	E-11
Action Requested:	Vacate a small portion of 200 S. 6 th Street right-of-way
Location of Property:	200 S. 6 th Street
Petitioners	City of Opelika
Existing Land Use	Former Library/Proposed Chamber of Commerce

Proposal:

The applicant is requesting to reduce the overall right-of-way for the 6th Street between Avenue A and Avenue B. The right-of-way for 6th Street is much larger than a traditional road. It is especially wide near the railroad overpass. Most of the street is approximately 110 feet wide. The block in question, the right-of-way is between 145 feet and 160 feet. This means that almost half of the existing parking lot for the building is located within the right-of-way. This has not been an issue because the property is owned by the City of Opelika.

The City is proposing to vacate between seven (7) and 35 feet. This would allow the parking lot and a proposed sign to be constructed outside of the right-of-way. This would mean the signage would be conforming as signage is not typically allowed within the public right-of-way except for a very limited number of types. In discussions with other City Departments, the vacation of right-of-way would not create any functional issues or reduce access to any property. The right-of-way along this block would still exceed the block to the south.

Recommendation:

Send a positive recommendation to the Opelika City Council to vacate the right-of-way on S. 6th Street.

Engineering Department Report

Engineering has not comments regarding the proposed ROW Vacation.

Opelika Water Board Report

No objections as long as access rights are maintained to water meter near intersection of Avenue A and S. 6th Street.

Opelika Power Services Report

No report.



006410-2024
**APPLICATION FOR
VACATION FOR STREET, ALLEY
OR EASEMENT**
PLANNING DEPARTMENT
700 FOX TRAIL
OPELIKA, AL 36801



Date Submitted: 10/01/2024	Meeting Deadline: 10/01/2024
Agenda Item#	Meeting Date: 10/22/2024

PART I. OWNER/APPLICANT INFORMATION:

City of Opelika 204 S 7th Street

Owner Name	Address	Phone
------------	---------	-------

Agent Name (if applicable)	Address	Phone
----------------------------	---------	-------

PART II. STREET/ALLEY/EASEMENT INFORMATION:

Street/Easement Address: 200 S 6th St

Current Zoning: C-2

Current Land Use: Former Library/Chamber of Commerce

a) Is the Petition signed and notarized by all Property Owners listed on the deed of adjoining the proposed Street/Alley/Easement? Yes

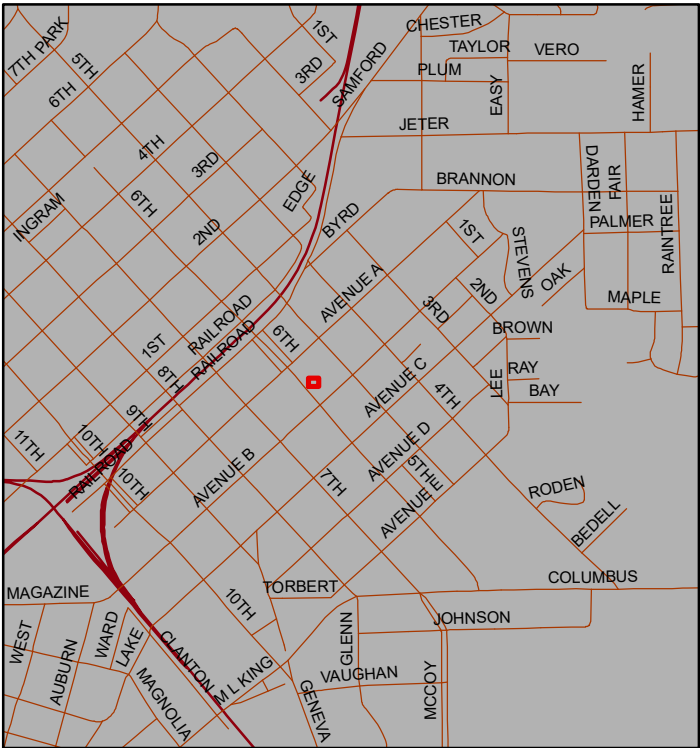
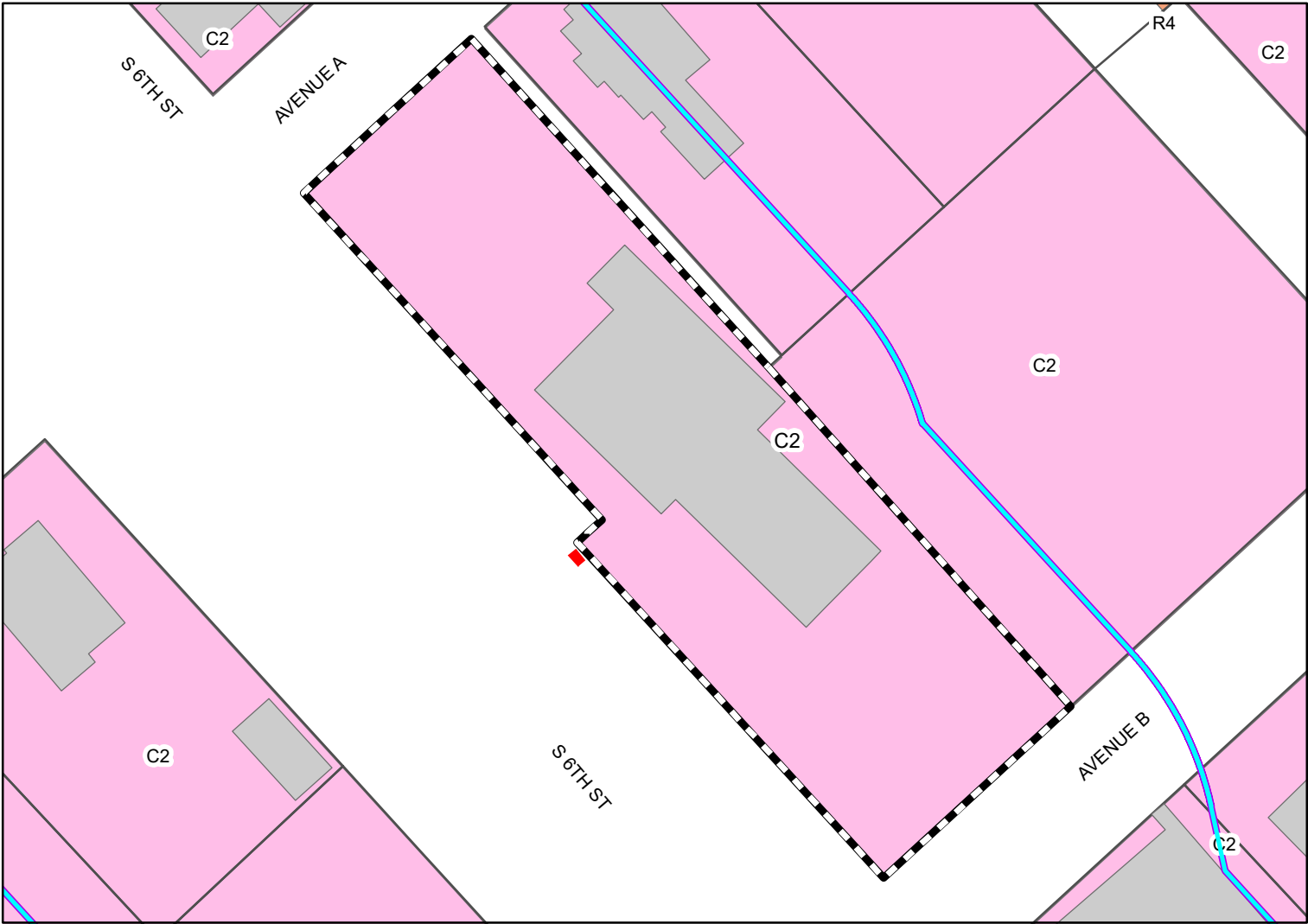
b) Does the Vacation of Street/Alley/ Easement deprive other property owners of their rights of ingress/egress or adversely affect other properties? No

If yes, explain: _____

PART III. PROVIDE AN EXPLANATION FOR THE REQUEST:

The property is owned by the City of Opelika. The currently right-of-way has long included parking, landscaping, and other features. The right-of-way is much larger than other places exceeding 140-160 feet. This is larger than needed.

VACATE A PORTION OF SOUTH 6TH STREET
200 SOUTH 6TH STREET



Requesting the vacation of a small portion of right of way for the Chamber of Commerce freestanding sign (red dot) at their new location - 200 S 6th Street (formerly City library). The Planning Commission votes to send a recommendation to City Council.



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