



AGENDA

CITY OF OPELIKA
HISTORIC PRESERVATION COMMISSION
January 15, 2026
4:30 p.m.
Meeting Chambers at Opelika Municipal Courtroom
300 MLK Boulevard

SPECIAL CALLED MEETING

Call to Order

Approve December 11, 2025 minutes.

Public Comment/Citizen Communication

Old Business

New Business

1. 111 S. 9th St: Downtown Historic District
COA: Façade Renovation
Applicant: Mae Ann Romito

Other Business

2. Enforcement Report
3. Staff Report
4. Next meeting February 12, 2026
5. Adjournment

The City of Opelika complies with the Americans with Disabilities Act and will make reasonable arrangements to ensure accessibility to meetings. If you need special assistance, please call the City's ADA Coordinator 72 hours prior to the meeting at (334)705-5130.



HISTORIC PRESERVATION COMMISSION MINUTES

300 Martin Luther King Blvd.

December 11, 2025

TIME: 4:30 PM

1. A CALL TO ORDER

Rush Denson called the meeting to order at 4:30 p.m.

2. APPROVAL OF MINUTES

A motion was made by Mike Buckelew to approve the November 13, 2025 minutes. The motion was seconded by Aaron Kovak. All approved.

1. Approve November 13, 2025 minutes.

3. PUBLIC HEARINGS

(Limit comments to 3 minutes or less)

Rush Denson opened the floor for public comments. There were none.

4. OLD BUSINESS

There was no old business to discuss.

5. NEW BUSINESS

2. 117 S. 8th St: Downtown Historic District

COA: Install New Awnings

Applicant: Mary Kathryn Whatley

Agenda Item #: 1

Meeting Date: 12/11/2025

Action Requested: COA: Install Awnings

Location of Property: **117 S. 8th St; Downtown Historic District**

Petitioner: Mary Kathryn Whatley

Resources:

Koplon's: c. 1880; one story building with basement; brick load bearing wall construction; articulated brick cornice above metal and glass storefront; travertine/stone panels at pedestrian level. Contributing Structure.

Proposal: The petitioner requests a COA for the following:

1. Install cloth awning with metal framing above each window.

Guidelines:

AWNINGS - #5.

Awnings should be compatible with the design of the building and the streetscape.

PRESERVATION: Preserve original canopies and awning hardware where feasible.

MATERIALS: Fabric awnings are appropriate. Vinyl coated canvas and acrylic awnings may be acceptable. Metal awnings may be appropriate in a few instances, but rough sawn wood, plastic, or asphalt shingle awnings give an immobile, hard, mansard—like appearance and are not appropriate.

DESIGN: Retractable or fixed standard shed—type canvas awnings are appropriate. Fake mansard roofs and rustic wood shingle awnings are inappropriate. Carefully coordinate the awning color with other building design features.

LOCATION: The awning should fit the dimensions of the storefront within the masonry opening and should not obscure architectural details. Mount the awning just above or just below the transom. Where feasible, align the awning so that it is the same height as others on the block. Upper story awnings should fit inside the window surround. Arched windows should have awnings shaped like the curvature of the arch, and rectangular windows should have rectangular awnings.

Staff recommendation:

- 1. *Staff recommends approval of cloth awnings with metal frames.*

Discussion:

Staff explained the request for cloth awnings on the three front storefront windows with renderings and examples.

There was no further discussion.

A motion was made by Debbie Purves to approve. The Motion was seconded by Mark Grantham. All approved.

- 3. 601 S. Railroad Ave: Downtown Historic District
COA: Facade Renovations
Applicant: Jake Whaley
Agenda Item #: 2
Meeting Date: 12/11/2025
Action Requested: COA: Renovations to Exterior
Location of Property: 601 S. Railroad Ave; Downtown Historic District
Petitioner: Jake Whaley

Resources:

Robertson-Huskey House. Circa 1894. Two story Second Empire-Italianate home, wood frame, mansard roof and dormers. This home is in the Downtown Historic District. However, it is not on the National Registry.

Proposal: The petitioner requests a COA for the following:

- 1. Remove vinyl siding and underlying wood siding; replace with smooth surface 4” lap Hardie Plank on main structure and 5” lap on rear addition.
- 2. Remove tin/wood barricades and enclose crawl space with bricks matching all other brick.
- 3. Replace rotted wood front steps with Hardi or wood.
- 4. Remove all landscaping and trees around the foundation and install new plantings to match character of the building.
- 5. Reroof top with white TPO roof. Install chimney caps consistent with historical context. Replace low-slope roofs over rear extension (asphalt shingle) and front porch (steel standing seam) with standing seam roof to ensure the structure is watertight. Replace asphalt shingles on mansard roof with match shingles. Shingles around all dormers will be removed and replaced with Hardie siding to match building and replace metal drum on top of dormers with standing seam roof. Drum shape will remain.
- 6. Enclose front window on left side and install two new windows spaced evenly for symmetry. Windows and trim to match existing windows. Operatable wood shutters to be installed.
- 7. Enclose windows on rear to build out restrooms.
- 8. Install new ADA ramp at existing back door.
- 9. Install either a widows walk or cupola on rooftop based on historic photos.
- 10. Demo shed in rear of property.

11. Install asphalt driveway off ramp at current curb cut to connect with old asphalt drive off Railroad Ave. Parking areas will be crusher run, crushed brick, or similar material.

Proposed Guidelines:

A. THE ENVIRONMENT:

1. The environment consists of all exterior features in the designated historic districts which are visible to the public and includes structures, outbuildings, landscaping, streets, appurtenances, trees, mass and spacing between structures, scale, mass, color and materials of buildings that give a neighborhood its distinguishing character and contributes to its historic district designation.
2. Significant landscape features such as public parks and gardens, street lighting, signs, street benches, sidewalks, streets, alleys and building setbacks that have traditionally been maintained in the historic district and that contribute to its historic character should be retained. Existing streets should not be widened. paving material should not be changed to a different texture and color. Inappropriate new streets or parking lots incompatible with the neighborhood should not be constructed. (*updated 08/12/14*)
3. New plant materials, fencing, walkways, housing and other outdoor lights, signs, benches, etc. should be compatible with the character of the neighborhood in size, scale, material and color.
4. Plant material should be maintained so as not to become a hazard to the public, public property or shall not be allowed to cause deterioration to structures.
5. Existing street trees should not be removed without supporting documentation and a plan for replacement. Trees located in the city right of way cannot be removed without city approval (*updated 09/09/22*)

The following items DO NOT require a COA:

- Back yard Tree house, swing sets and trampolines
- Benches and other outdoor furniture and accessories
- Sculpture and another outdoor artwork
- Pools and patios
- Tree pruning, clearing of overgrown bushes, vines, saplings, etc.
- Tree removal (less than 4" diameter at breast height or diseased).
- Planting new trees, shrubs, ground cover, etc.
- Landscape edging
- Flower, vegetable and rock gardens
- Flowerpots, planters, window boxes, birdbaths, bird houses, etc.
- Adding gravel to existing driveways
- Patching deteriorated concrete or asphalt pavement, walks, steps, etc.

The following commonly requested projects require a COA:

- Changes to stone walls and other historic site features
- New or expanded parking areas/lots
- New and expanded driveways and walkways
- Staff approval for change of materials (i.e. gravel to concrete)
- Staff approval for tree removal with supporting documentation from a Certified Arborist that the tree is either dead, in severe decline, and/or possess a high risk of failure. Trees to be reviewed by the City Arborist. A tree replacement plan must be provided. (*Updated 09/09/22*)

2. Wood:

- a. **Significant architectural features should be retained and preserved. Deteriorated material should be repaired or replaced with material that duplicates in size, shape and texture the old material as closely as possible. Composite and other materials may be used so long as these materials duplicate the original in size, shape and texture and do not cover any existing wood materials.**

- b. Do not remove architectural features such as siding, cornices, brackets, window architraves, doorway pediments, trim, shutters, etc. These are an essential part of a building's character and appearance and illustrate the history of the building.
- c. Do not resurface frame buildings with new material that is inappropriate or is incongruous with the architectural style or materials of the asphalt shingles or siding. Aluminum or vinyl siding overlaid over wood siding, wood soffit or wood fascia is not allowed on contributing structures in historic districts (see <http://www.nps.gov/history/hps/tps/briefs/brief08.htm>). It may be allowed on non-contributing structures in historic districts, subject to the guidelines above and on a case-by-case basis. In no event shall vinyl or aluminum material be permitted to cover existing wood detailed trim such as door and window casings, wood cornice and frieze boards, brackets, window architraves, doorway pediments and wood columns.

3. Architectural Metals:

- a. Architectural metals such as cast iron, steel, pressed tin, aluminum, and zinc shall be retained whenever possible.
- b. It shall be prohibited to remove architectural metal features that are an essential part of a building's character and appearance. These materials shall be stabilized and preserved intact on the structure.
- c. Where it is necessary to clean these architectural metals, they should be cleaned with a method that does not abrade the surface and which will not alter the color, texture and tone of the metal. After cleaning, the metals shall be coated with an appropriate protective coating. Do not expose metal which was originally protected from the environment.

4. Roofs and Roofing:

- a. Original roof shape and pitch should be maintained.
- b. Provide adequate roof drainage and ensure that the roofing materials provide a weather tight covering for the structure.
- c. Retain the original roofing material whenever possible.
- d. Replace deteriorated roof covering with new materials that are compatible with the period of the structure and appropriate to the structure. Fiberglass asphalt shingles may be substituted for original roofing when it is not economically feasible to replace or repair with original materials or when the original roof is beyond repair. The color and texture of fiberglass-asphalt shingles should be appropriate to the architectural style and period of the structure.
- e. Built-in gutters may be covered over when it is not economically feasible to maintain or replace or repair with original material. Care should be taken to provide for the drainage of water away from the structure if built-in gutters are covered over.
- f. Preserve or replace where necessary, but do not remove, all architectural features that give the roof its essential character, such as dormer windows, cupolas, cornices, brackets, chimneys, cresting and weathervanes.
- g. Do not introduce new roof features, such as dormers where none existed before. Low profile skylights may be used on the side or rear facades not facing a street.

- Built-in gutters may be covered over when it is not economically feasible to maintain or replace or repair with original material. Care should be taken to provide for the drainage of water away from the structure if built-in gutters are covered over.
- Replacement of existing asphalt composition roofing shingles

The following commonly requested projects require a COA:

- Changes in roofing material including the removal and replacement of slate, terracotta tile and standing seam metal roofing materials

5. Windows:

- a. Retain and repair existing windows including window sash, glass, lintels, sills, architraves, shutters, pediments, hoods and hardware. If new sashes are used, duplicate the original material, design, size and hardware of the original window. Do not change window size, sash size or windowpane size.

- b. Do not introduce or create new window openings into the front principal elevation of the structure and do not enlarge or reduce original window openings to fit new stock window sizes.
- c. The original number and arrangement of panes should be maintained.
- d. Storm windows should be visually unobtrusive and should not damage existing window frames. Storm windows should be designed so that they can be removed in the future without damage to the original fabric of the structure. Storm windows should be compatible in color and design with the original windows. For example, mill finished aluminum storm windows should not be used with painted window sash.
- e. Plastic, canvas or metal strip awnings or fake shutters that are not compatible with the architectural style of the structure should not be used.
- f. Where existing shutters are replaced or reinstalled when missing, the new shutters shall be sized to fit the window opening, in height and width, whether the shutters are fixed or operable. Composite materials are allowable for shutters so long as they duplicate the original in shape and texture.
- g. New window openings should not be introduced unless they match the existing window configuration and their placement harmonized with the existing rhythm of openings.
- h. Original windows should not be filled in.

7. Entrances, Porches and Steps:

- a. Porches and steps that are appropriate to the building and its development should be retained. Porches or additions that reflect later architectural styles are often important to the building's historical integrity and wherever possible, should be retained.
- b. **Original material and architectural features, such as handrails, balusters, columns, brackets and roof decoration shall be preserved. Where necessary to replace deteriorated pieces, the new material should match the original in texture, shape, size and color.**
- c. Original details and shape, outline, roof height and roof pitch should be retained.
- d. Enclosing of front porches is inappropriate if done in a manner that destroys their intended appearance.
- e. The enclosing of side and rear porches may be considered appropriate if the visual openness and character of the original porch is maintained.

The following items DO NOT require a COA:

- Minor repairs to materials and features when repaired to match the original
- Porch flooring and ceilings, trim boards, railings, brackets, etc.

The following commonly requested projects require a COA:

- Removal or addition of porches
- Screening of side porches according to guidelines (staff approval)
- Screening of front porches according to guidelines (commission approval)
- Enclosure of porches

9. Architectural Details:

- a. Original details shall be maintained.
- b. The replacement of missing original details should be based on accurate historic, physical or pictorial documentation and should be a close visual approximation of the original.
- c. Architectural details of any period or style not original to the building should not be introduced.
- d. Changes that have taken place in the course of time which are evidence of the history and development of a building, and its environment may have acquired significance in their own right; their significance should be recognized and respected.

10. Appurtenances:

- a. Appurtenances related to a building (fences, walls, outdoor lighting, steps, paving, sidewalks and signs) should be visually compatible with the environment to which they are related.

Staff recommendation:

1. Staff recommends approval of replacing vinyl and wood siding with smooth Hardie Plank. New Hardie siding should have the same profile and reveal as the current wood siding. All architectural details shall be preserved and remain in place.
2. Staff recommends approval of removing tin/wood barricades and enclosing crawl space with brick to match existing brick foundation.
3. Staff recommends approval of replacing wood front steps with Hardi or wood.
4. Staff recommends approval of removing all overgrown plants and replacing them with new landscaping.
5. Staff recommends approval of installing all new roofing with same materials currently in place. Staff recommends approval of removing shingles from side of dormers and installing Hardi siding and metal drums with standing seam.
6. Staff recommends approval of removing window currently in place and installing two new windows in same style and trim to add symmetry and allow for interior buildout. Staff recommends approval of operable wood shutters. Applicant to return with window specs prior to installation.
7. Staff recommends approval of enclosing rear window (previously a porch) to allow for interior buildout.
8. Staff recommends new ADA ramp meeting code. Applicant to return with design review prior to installation.
9. Staff recommends approval of new widows walk or cupola based on historic photos. Applicant to return with design for review prior to installation.
10. Staff recommends approval of demolishing shed in rear of property.
11. Staff recommends approval of asphalt drive onto property and graveled parking.
12. All HPC approvals are contingent on both site plan and landscaping review and approval by the Planning Department.

Discussion:

Staff provided a detailed description of renovations requested, including siding, windows, wood steps, handicap ramp, roofing, landscaping, and parking.

Jake Whaley, applicant, introduced himself, Scott Littlepage and owner, David Klapetek. They will use this property for their office. They want to continue improving and preserving the property as David has done. They understand that they will need to return to seek approval on some of the details.

Linda Lanz asked about the operable shutters. Mr. Whaley explained the shutters would be functional and actually close when needed but would remain open for the most part.

Aaron Kovak asked about the concrete ramp to the rear. Mr. Whaley stated that it obviously is not ADA compliant. Mr. Kovak stated that a concrete ramp was recently rejected and asked if they are opposed to a wooden ramp. Mr. Whaley said they will bring a design to us at a later meeting. They needed to get an initial reaction to changes needed prior to moving forward and closing on the property.

A motion was made Aaron Bushey to approve. The motion was seconded by Linda Lanz. All approved.

6. OTHER BUSINESS

4. Enforcement Report

There were no enforcement cases to discuss.

5. Staff Report

Staff reported that the editing of the new Design Guidelines is almost completed. She hopes to have a revised copy available for approval of the board on the first of 2026.

6. Next meeting DATE

1. Next meeting January 8, 2026

7. ADJOURN

With no further discussion, a motion was made by Debbie Purves to adjourn. The motion was seconded by Mike Buckalew. All approved.

**City of Opelika
Historic Preservation Commission
Staff Report**



Agenda Item #: 1
Meeting Date: 01/15/2026
Action Requested: COA: Façade Renovation
Location of Property: 111 S. 9th St; Downtown Historic District
Petitioner: Mae Ann Romito

Resources:

c. 1950. Lounge. One-story brick load-bearing wall construction; east façade has new brick veneer above glass and metal storefront.

History: The January 8, 2026 meeting was canceled due to not having a quorum and Chair, Rush Denson, requested a Special Called meeting for January 15, 2026.

Proposal: The petitioner requests a COA for the following:

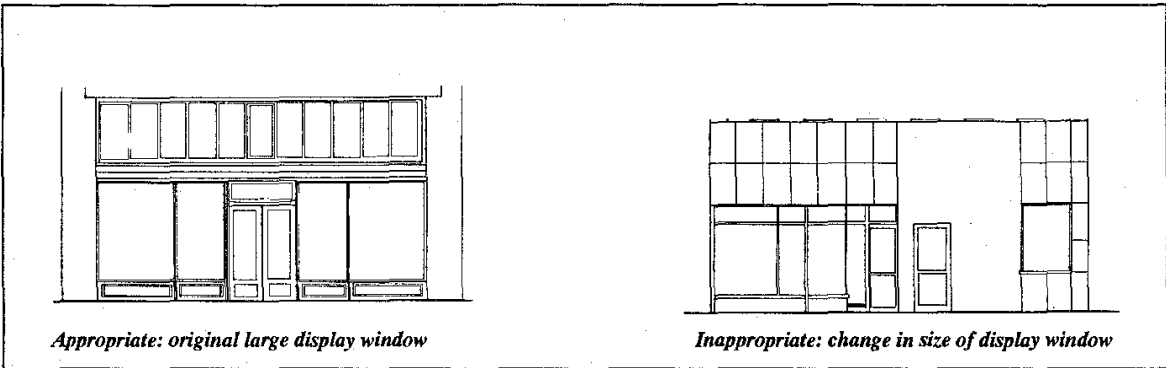
1. Replace small front windows with full wood framed storefront windows. Transom above entry will be added if feasible.
2. Replace front door with wood framed full glass double doors.
3. Install full length windows on either side of front doors.
4. Install gooseneck lighting on front façade.
5. Install individual channel lettering for signage measuring 18" x 4.5'.
6. Paint existing building brick white.
7. Install decking, add metal railing and stairs, and a new metal security door on rear exit platform.

Proposed Guidelines:

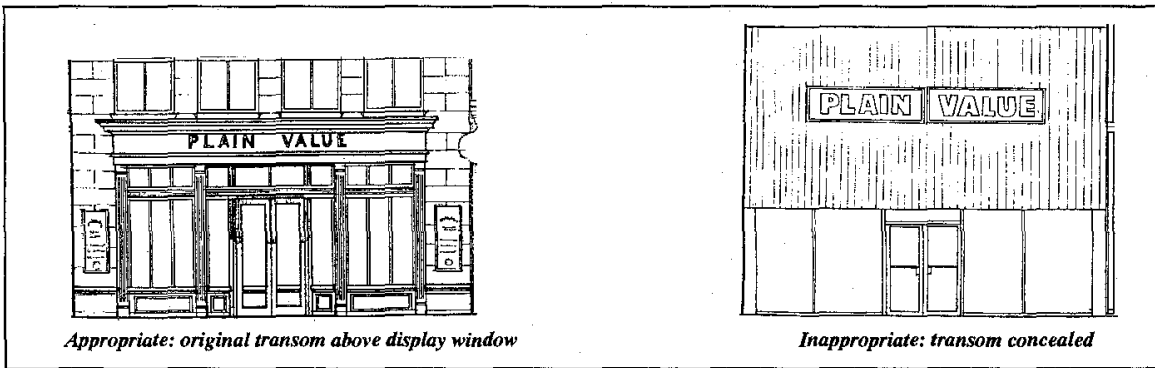
STOREFRONT - #2.

Preserve existing historic storefronts. Retain characteristic storefront features.

DISPLAY WINDOW: Maintain the original dimensions and transparent nature of the display window. Do not add small paned windows or reflective glass.



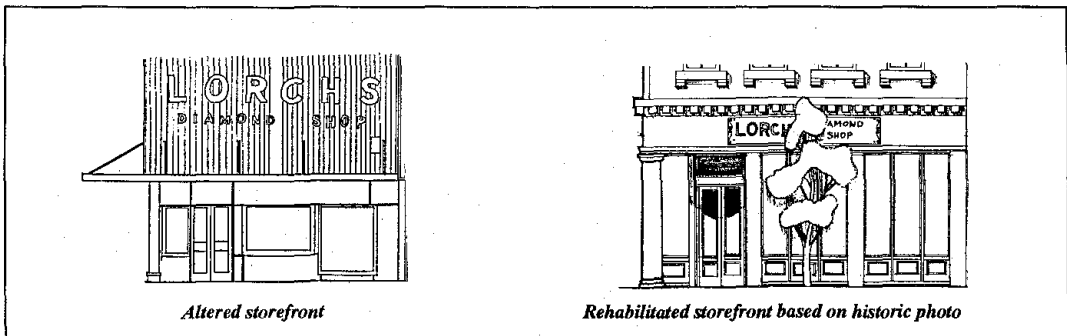
COLUMNS: Maintain cast iron columns and brick and stone piers which frame the storefront.
TRANSOM: Retain original shape and transparency of the transom. Do not place a sign over the transom, If an interior ceiling has been lowered below the transom, it should be recessed from the storefront. Do not place air conditioning units in the transom.



RECONSTRUCTED STOREFRONT -#3

Reconstruction of a historic storefront should be based on physical evidence and historical documentation such as photographs.

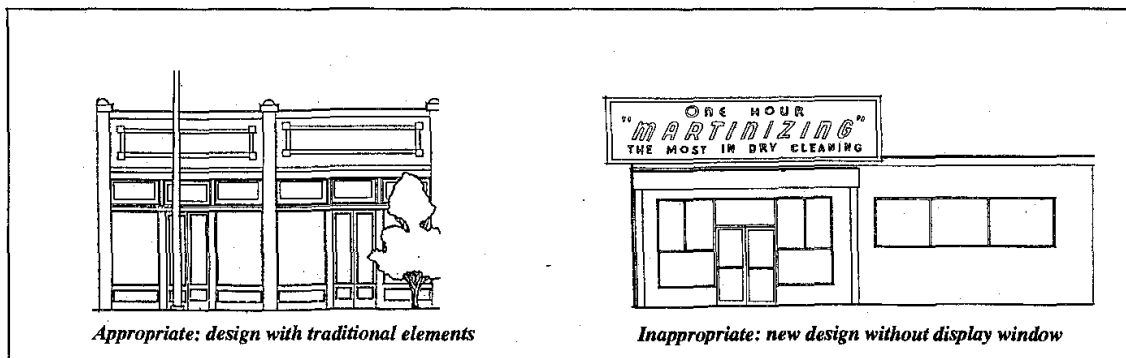
RE-CONSTRUCTION: Obtain historic photographs, post cards of downtown, and historical background about the building by contacting the historical society, library, and/or state archives.



NEW STOREFRONT #4.

If documentation of the original storefront does not exist, design a new storefront that is compatible with the materials, size, scale, and character -defining features of nearby buildings.

NEW DESIGN: Respect the original design of the building and visual character of the district. Do not add early colonial features, attempt to create a theme, or make a building more ornamental than it originally was. The new design should incorporate characteristic elements of a traditional storefront, including the display window, transom, recessed entrance, and bulkhead using compatible materials. (see Preservation Brief #11)



DOORS - #9.

Preserve the original front doors and opening.

PRESERVATION: The original size and shape of door openings should be maintained, not in-filled. Original doors and door hardware should be repaired and maintained. Replacement doors, when necessary, should be compatible with the original doors in terms of style, size, material, and glass panel configuration.

NEW OPENINGS: When the creation of new openings is necessary in order to meet fire codes, they should be located on sides or to the rear of buildings, rather than on the front. New openings, when permitted, should be compatible in scale, size, proportion, and placement to historic openings.

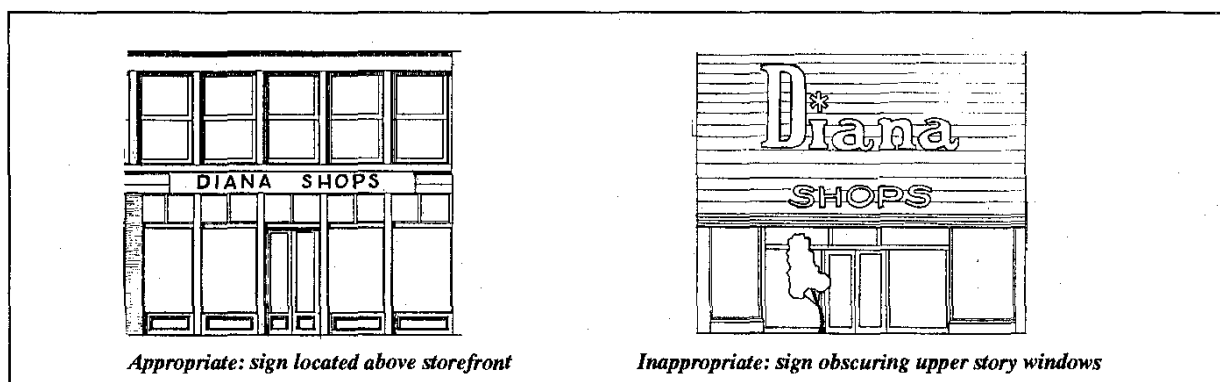
CLOSING AN OPENING: If the blocking of an opening is allowed, infill materials should be compatible with the building and should be placed 2" to 6" back from the building face. Use of fixed reflective glass is not recommended.

SIGNS #6.

Signs should complement, rather than compete with, the character of the building and downtown.

These design guidelines apply to the exterior signs within the Northside and Geneva Street Historic Preservation Districts. All signs in a historic preservation district must meet the provisions of the Opelika Zoning Ordinance as well as receive a Certificate of Appropriateness. A Certificate of Appropriateness review will determine whether a sign proposal meets the context of these guidelines. Whenever there is a conflict between the regulations of the zoning ordinance and these guidelines, the more stringent regulations will take precedence. (Updated 08/12/13)

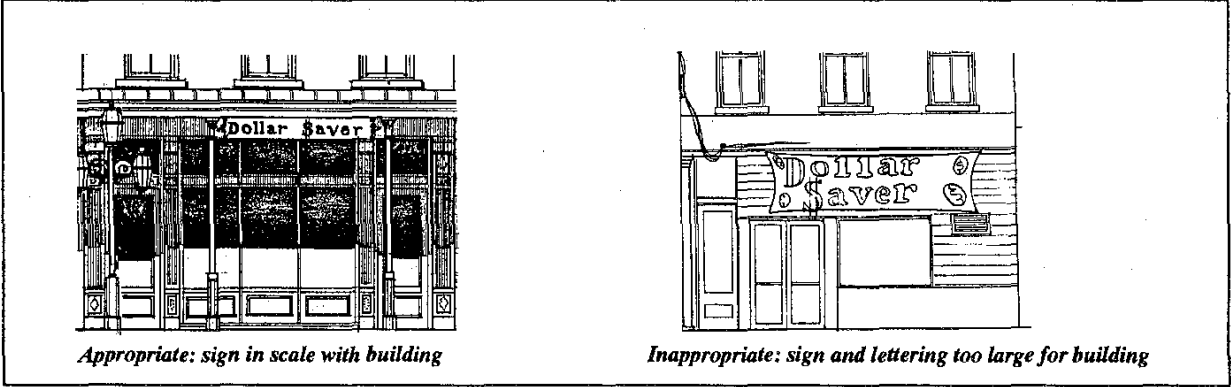
LOCATION: Signs should be designed with the historic character of the building and district in mind. The design should be compatible with the architectural features of a building or neighboring buildings and should not obscure architectural details of the building. Locate signs on flat unadorned parts of the facade or paint directly onto the glass storefront. Hanging signs should not project more than 40 inches beyond adjoining buildings or obscure the view of the streetscape. A hanging sign should be at least 8 feet off the ground. Signs should not be located on the roof. They should be aligned with others in the area in order to create a more uniform appearance. (Updated 08/12/14)



TYPES: A variety of signs may adorn a building. Awning signs and small facade sign panels can attract the attention of passing motorists or pedestrians across the street. Signs painted on storefront windows and doors attract the attention of pedestrians. Hanging signs should be attached so that they do not damage the wall surface. Attach signs through joints in the masonry rather than to the brick itself. Moveable or portable signs are not appropriate. Sandwich Boards measuring up to 24" wide by 36" tall may be approved by staff and must be of an A-frame design. The use of painted wood signs is encouraged and the use of metal and plastic signs are discouraged. One sandwich sign per building is

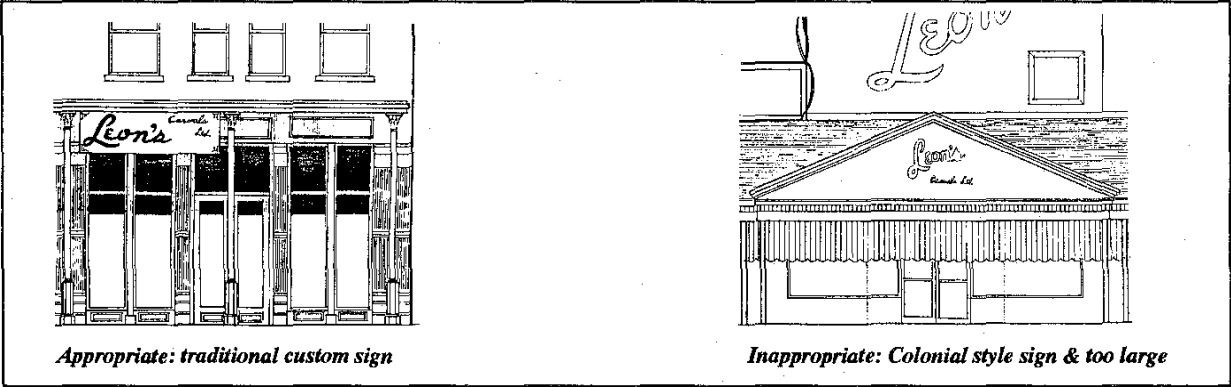
permitted, though buildings housing multiple businesses may share a slightly larger, 24” wide by 48” sign. (Updated 08/12/14)

SIZE: Size should be determined by the scale of the building, not whether the sign is meant to be viewed by a passing motorist or pedestrian. Generally, lettering should not exceed 18 inches high. The maximum area of any sign in a historic commercial district shall be limited to twenty-four (24) square feet, and in the Gateway Corridor (Geneva St, 10th St, Torbert Ave, 2nd Ave) shall be limited to forty-eight (48) square feet, unless acceptable documentation proves that original signage from the date of construction of the building or the most significant architectural renovation of the building was larger.



MATERIALS: Sign materials should be compatible with those of the historic building. Traditional signs were often painted on finished wood or metal panels. Signs painted onto fabric awnings are effective. Unfinished plywood and plastic signs may not be appropriate in the downtown.

DESIGN: New signs should not attempt to look older than the building. Colonial designs are not appropriate on Victorian buildings. Custom signs are preferable to mass-produced standardized signs. Simple designs which are subordinate to the building are appropriate. Where several businesses occupy a building, it is best to coordinate the signs. The use of symbolic, three-dimensional signs, such as the red and white barbers' pole, is encouraged.



LIGHTING: The sign should be illuminated to fit the design of the building. The color and intensity of illumination are central to achieving a complimentary balance of the building and signs. Light intensity should not overpower the building or street edge. Sign lighting should be subdued or indirect. Internally lit (including digital) plastic signs are not appropriate, although, in some cases, neon signs may be appropriate. Neon lighting should be used in limited volume to ensure that it does not become visually obtrusive and dominate the street frontage. Incandescent lights are preferable to the harsh, cold appearance of fluorescent lights. Flashing lights are not appropriate. (updated 08/12/14)

HISTORIC SIGNS: Retain historic signs whenever possible. (See Preservation Brief #25.) Preserve signs that: reflect the history of a building or district; are characteristic of a particular historic period or style; are associated with events, people, or places; are evidence of the history of a product or business; display excellent craftsmanship, use of materials, or design; are incorporated into the buildings design or physical fabric. Photo evidence of previous sign design and/or style is encouraged. (Updated 08/12/14).

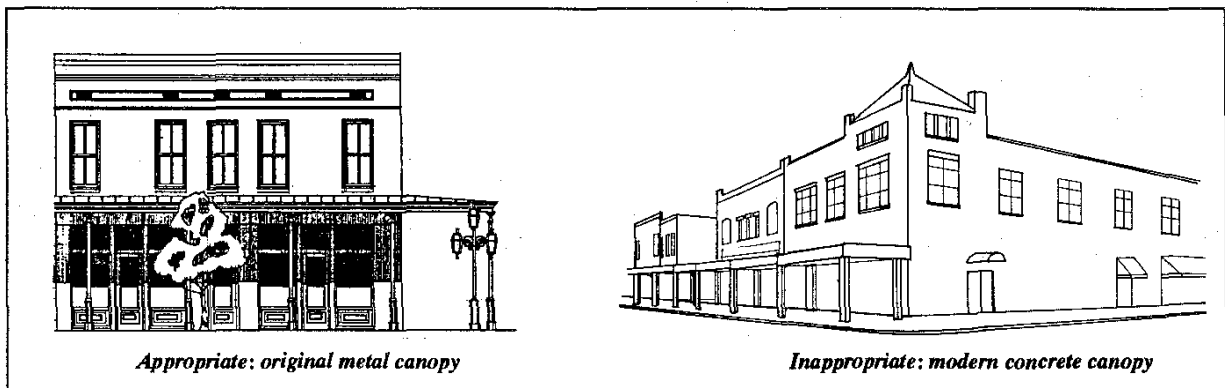
MASONRY - #15.

Original masonry including brick, stone, terra cotta, and stucco walls and details should be preserved and maintained.

CLEANING: Cleaning of masonry should be done by the gentlest means possible. Never sandblast a masonry building. Do a test patch prior to undertaking any cleaning method. Once painted, it is often better to repaint rather than remove paint. Carefully investigate the condition of masonry before removing stucco. (See Preservation Brief #1, 6, 7) In almost all cases, unpainted masonry should not be painted. The painting of unpainted brick should only be considered under the following circumstances:

1. The masonry is not historic, nor is likely to become contributing in the future.
2. The brick is soft brick or porous historic brick that was intended to be sealed. Most known brick in Opelika's historic districts have more modern bricks.
3. A majority of the existing structure's masonry is already painted.
4. Masonry at ground level or below needs to be waterproofed to exclude ground water.
5. The structure has been extensively damaged by fire, natural disaster, or pre-existing alterations that the masonry no longer conveys the buildings historic character. This should not include major additions or changes that show the historic evolution of a building. (rev. 01/19/2022)

REPAIRING: Waterproofing sealants should not be used on masonry, unless they are vapor permeable. Repairs should match the historic masonry in size, shape, texture, and color. Repointing of existing masonry should incorporate the same mortar mix, tooling, and color as the historic masonry pointing. (See Preservation Brief #2)



COLOR - #18.

Employ color schemes that will complement neighboring buildings and coordinate facade elements in an overall composition.

COMPATIBILITY: Use colors that are historically appropriate or compatible. Study the colors on nearby buildings and incorporate, not copy, them into your schemes so that your building is compatible and complementary with neighboring buildings.

NATURAL TONES: The natural colors of brick and stone are more appropriate than bright hues. Start with the natural color of the building itself as the base.

TRIM: Built-in features of the facade such as doors, window frames, molding, and cornices can be contrasted with an accent color a shade lighter or darker than the base.

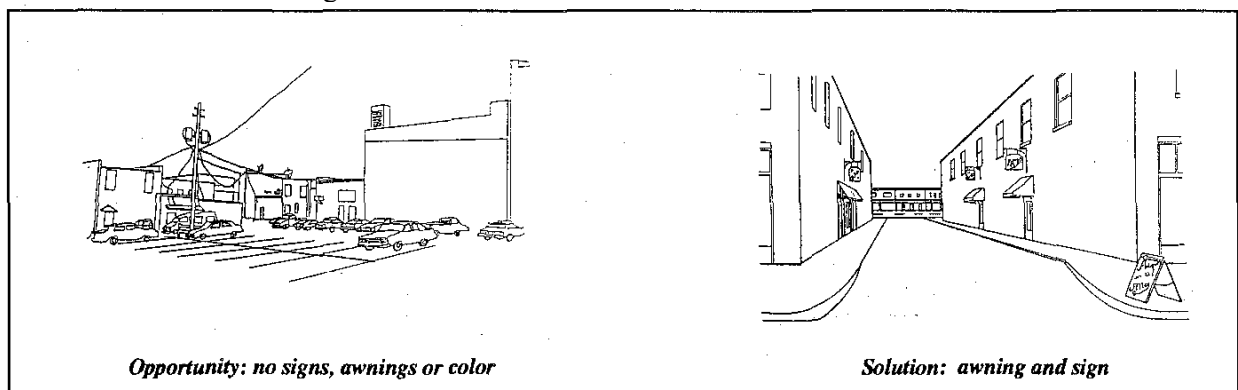
REAR ENTRANCES - #10.

Develop rear and alley entrances for public and service use where feasible.

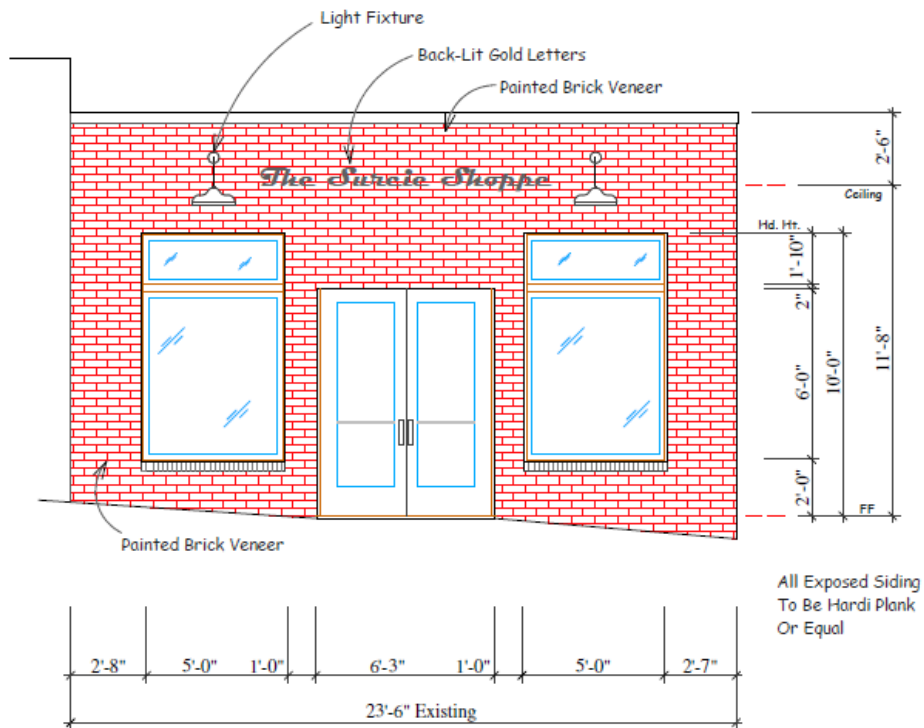
SIGNAGE: On rear and alley entrances use a smaller version of the main sign to identify the entrance. Improvements to rear facades and entrances can be important. When the rear facade of a building is visible from a parking lot, the addition of an awning or signage that designates the point of access and identifies a building is important.

LIGHTING: Provide lighting at the rear entrance.

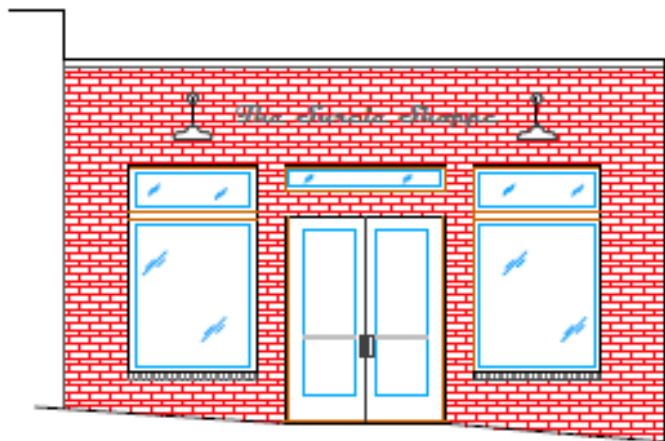
MATERIALS & COLORS: Employ materials and colors that coordinate with the main facade so that customers will learn to recognize both entrances as related to the same business.



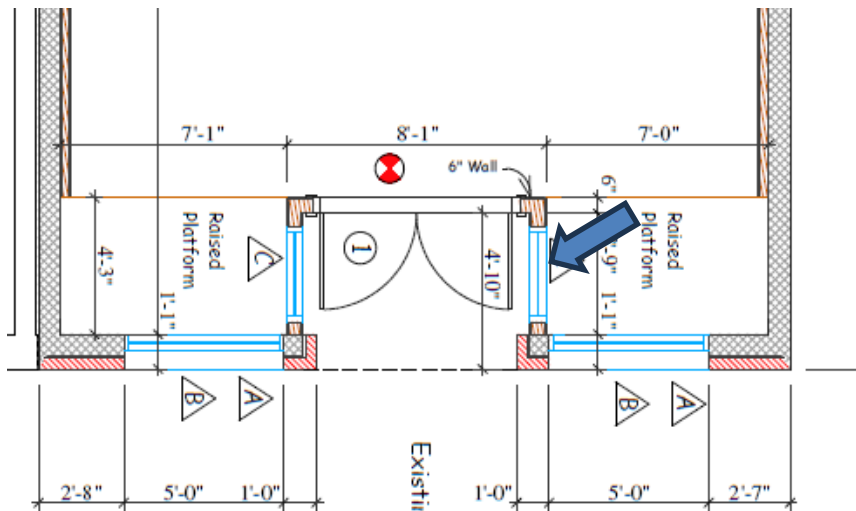
Photo's:



Front elevation showing large storefront windows and double wood full glass doors



Front elevation showing transom above entry.



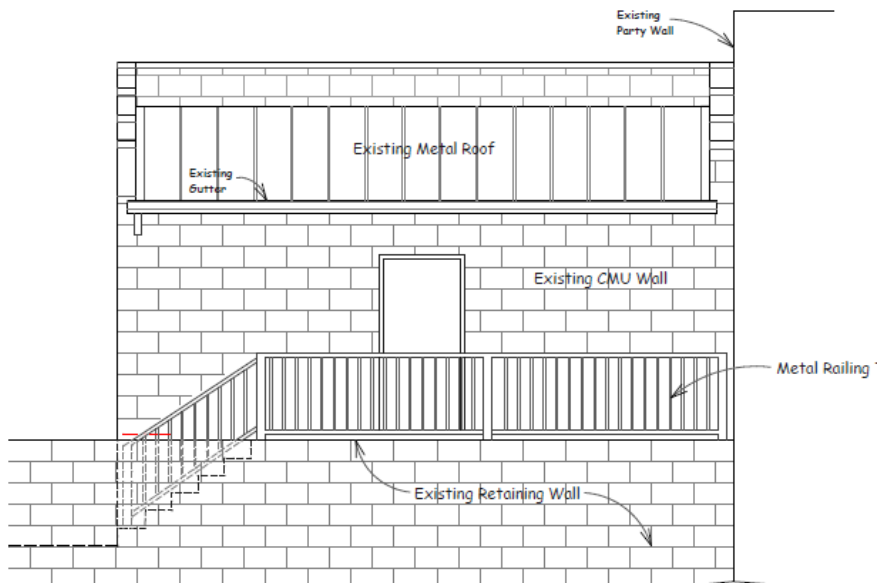
Rendering showing new fill length windows on each side of doors



Example of side windows



Fill in with concrete. Add metal railing and new metal security door



Rendering showing new metal railing on rear



Example double wood doors



Example gooseneck lights

Staff recommendation:

1. Staff recommends approval of replacing small front windows with wood-framed storefront windows either with or without transom above entry.
2. Staff recommends approval of new wood framed full glass double doors.
3. Staff recommends approval of new full-length windows on either side of doors.
4. Staff recommends approval of good neck lighting on front façade.
5. Staff recommends approval of individual channel letters for signage meeting allowable square footage.
6. Staff recommends approval of painting existing brick, for it is not historic or original to the building.
7. Staff recommends approval of decking, metal railing and stairs, and a new metal security door on rear exit platform.