



AGENDA

CITY OF OPELIKA HISTORIC PRESERVATION COMMISSION

August 13, 2026

4:30 p.m.

Meeting Chambers at Opelika Municipal Courtroom
300 MLK Boulevard

Call to Order

Approve July 9, 2026 minutes.

Public Comment/Citizen Communication

Old Business

New Business

1. 314 N. 11th St: Northside Historic District
COA: Porte Cochere and Curb Wall
Applicant: David McClintoc
2. 609 Geneva St: Geneva Historic District
COA: Rear Addition, Parking, Side Door, Outdoor seating
Applicant: Kevin Lyons
3. 904 5th Ave: Northside Historic District
COA: Expand Front Porch, Lighting
Applicant: Clay & Jennifer Harper
4. 409 Geneva St: Geneva Historic District
COA: Rebuild Structure, Parking
Applicant: John Marsh
5. 601 S. Railroad Ave: Downtown Historic District
COA: Signage, Landscaping, Parking
Applicant: Jake Whaley

Other Business

6. Enforcement Report
7. Staff Report
8. Next meeting September 10, 2026
9. Adjournment

The City of Opelika complies with the Americans with Disabilities Act and will make reasonable arrangements to ensure accessibility to meetings. If you need special assistance, please call the City's ADA Coordinator 72 hours prior to the meeting at (334)705-5130.



HISTORIC PRESERVATION COMMISSION MINUTES

300 Martin Luther King Blvd.

July 9, 2026

TIME: 4:30 PM

1. A CALL TO ORDER

Rush Denson called the meeting to order at 4:33 pm.

2. APPROVAL OF MINUTES

A motion was made by Linda Lanz to approve the June 11, 2026 minutes. The motion was seconded by Mark Grantham. All approved.

1. Approve June 11, 2026 minutes

3. PUBLIC HEARINGS

(Limit comments to 3 minutes or less)

Rush Denson opened the floor for public comments. There were none.

4. OLD BUSINESS

There was no old business to discuss.

5. NEW BUSINESS

2. 714 Ave D: Geneva Historic District

COA: Add Front Porch, Replace Windows, and Add Overhangs

Applicant: Alexander Bell

Agenda Item #: 1

Meeting Date: 07/09/2026

Action Requested: COA: Add Front Porch, Replace Windows, Add Overhang

Location of Property: 714 Ave D; Geneva Historic District

Petitioner: Alexander Bell

Resources:

Circa 2008. This home is in the Geneva Historic District. However, it is not listed on the National Registry. The home was built in the design of a historic home previously on the lot. Non-contributing structure.

Proposal: The petitioner requests a COA for the following:

1. Add 40' x 8' front porch to match the design and materials of the side porch including 6"x6" posts, custom wood baluster, wood steps. Decking will be composite with wood grain look.
2. Replace 3 to 4 windows to include two basement casement windows and the right 2nd story casement window due to lower casement rail rot. The fourth window has a failed seal. All windows are 1/1. Original windows are wood and will be replaced with wood windows.
3. Add wood awnings with decorative wood brackets above garage and 2nd floor entry doors to match design of the house. The roof will be 5V crimped metal.
4. Additional work includes finishing the handrail and replacing the front step balusters. These are custom cut items based on the baluster pattern inside Trinity Methodist Church.

Proposed Guidelines:

7. Entrances, Porches and Steps:

- a. Porches and steps that are appropriate to the building and its development should be retained. Porches or additions that reflect later architectural styles are often important to the building's historical integrity and wherever possible, should be retained.
- b. Original material and architectural features, such as handrails, balusters, columns, brackets and roof decoration shall be preserved. Where necessary to replace deteriorated pieces, the new material should match the original in texture, shape, size and color.
- c. Original details and shape, outline, roof height and roof pitch should be retained.
- d. Enclosing of front porches is inappropriate if done in a manner that destroys their intended appearance.
- e. The enclosing of side and rear porches may be considered appropriate if the visual openness and character of the original porch is maintained.

The following items DO NOT require a COA:

Minor repairs to materials and features when repaired to match the original

- Porch flooring and ceilings, trim boards, railings, brackets, etc.

The following commonly requested projects require a COA:

- Removal or addition of porches
- Screening of side porches according to guidelines (staff approval)
- Screening of front porches according to guidelines (commission approval)
- Enclosure of porches

5. Windows:

- a. Retain and repair existing windows, including window sash, glass, lintels, sills, architraves, shutters, pediments, hoods and hardware. If new sashes are used, duplicate the original material, design, size and hardware of the original window. Do not change window size, sash size or windowpane size.
- b. Do not introduce or create new window openings into the front principal elevation of the structure and do not enlarge or reduce original window openings to fit new stock window sizes.
- c. The original number and arrangement of panes should be maintained.
- d. Storm windows should be visually unobtrusive and should not damage existing window frames. Storm windows should be designed so that they can be removed in the future without damage to the original fabric of the structure. Storm windows should be compatible in color and design with the original windows. For example, mill finished aluminum storm windows should not be used with painted window sash.
- e. Plastic, canvas or metal strip awnings or fake shutters that are not compatible with the architectural style of the structure should not be used.
- f. Where existing shutters are replaced or reinstalled when missing, the new shutters shall be sized to fit the window opening, in height and width, whether the shutters are fixed or operable. Composite materials are allowable for shutters so long as they duplicate the original in shape and texture.

- g. New window openings should not be introduced unless they match the existing window configuration and their placement harmonized with the existing rhythm of openings.
- h. Original windows should not be filled in.

Staff recommendation:

- 1. Staff recommends approval of the front porch addition matching the side porch in material and design.
- 2. Staff recommends approval of Anderson wood-clad casement windows for this home, which is a non-contributing structure.
- 3. Staff recommends approval of adding awnings above the garage and 2nd floor entry doors to match the design of the house.
- 4. Maintenance of items does not require Staff or Commission approval.

Discussion:

Staff provided an overview of the proposed new front porch, replacement windows, and awnings over doors.

The applicant stated that the new railings will all match existing railings on the side porch. The original windows were manufactured by National Windows, and they are now closed. It has been difficult to find windows the exact same size. Two of the windows are basement below-grade windows and not very visible. If these new windows do not look appropriate or fit correctly, he can move the windows from the top floor to this location. The original double-hung wood windows have a plastic insert.

Rush Denson commented that this property is a non-contributing structure built in 2008.

Aaron Kovak commented that the facing is vinyl and with the 2” trim package around the frame that you would see the vinyl outside.

A motion was made by Aaron Kovak to approve proposed changes to this non-contributing structure. The motion was seconded by Mark Grantham. All approved.

- 3. 830 N. Railroad Ave: Downtown Historic District
COA: Replace Doors
Applicant: Scott Brown
Agenda Item #: 2
Meeting Date: 07/09/2026
Action Requested: COA: Replace Double Entry Doors
Location of Property: 830 N. Railroad Ave; Downtown Historic District
Petitioner: Scott Brown

Resources:

Meadow Gold Daries. Circa 1920. Two story brick building with stucco and wood finish, awning windows. Noncontributing structure.

Proposal: The petitioner requests a COA for the following:

- 1. Replace two sets of double metal doors with double 34 lite fiberglass insulating core doors on the front. Doors will be painted.

Guidelines:

DOORS - #9.

Preserve the original front doors and opening.

PRESERVATION: The original size and shape of door openings should be maintained, not in-filled. Original doors and door hardware should be repaired and maintained. Replacement doors, when necessary, should be compatible with the original doors in terms of style, size, material, and glass panel configuration.

NEW OPENINGS: When the creation of new openings is necessary in order to meet fire codes, they should be located on sides or to the rear of buildings, rather than on the front. New openings, when permitted, should be compatible in scale, size, proportion, and placement to historic openings.

CLOSING AN OPENING: If the blocking of an opening is allowed, infill materials should be compatible with the building and should be placed 2" to 6" back from the building face. Use of fixed reflective glass is not recommended.

Staff recommendation:

1. *Staff recommends approval of fiberglass doors to replace current metal door units on this non-contributing structure.*

Discussion:

Staff provided the commission with the proposed replacement doors on this non-contributing structure.

Rush Denson asked if composite doors were allowed previously. Staff could only think of two possibilities. However, one was steel (Red Clay) and the other is wood (Bella's Bridal).

Aaron Kovak stated that fiberglass doors are not historic. Traditional wood or metal doors are appropriate. If fiberglass is allowed, we will have more requests for them.

A motion was made by Rush Denson to deny the request for fiberglass entry doors. However, the applicant may return with specs for either metal or wood doors meeting all specifications for staff approval. The motion was seconded by Linda Lanz. All approved.

6. OTHER BUSINESS

4. Enforcement Report
Staff issues a Stop Work Order for a property on 3rd Ave for carport enclosure without a COA.
5. Staff Report
There was no Staff report.
6. Next meeting DATE
1. Next meeting August 13, 2026

7. ADJOURN

A motion was made by Aaron Kovak to adjourn. The motion was seconded by Linda Lanz. All approved.

Rush Denson, Chair

Linda Lanz, Secretary

City of Opelika
Historic Preservation Commission
Staff Report



Agenda Item #: 1
Meeting Date: 08/13/2026
Action Requested: COA: Porte Conchere and Curb Wall
Location of Property: 314 N. 11th St; Northside Historic District
Petitioner: David McClintoc
Resources:

C.1890. Two story, wood frame Victorian residence with hip with cross gable roof of asphalt shingles, weatherboard siding, second floor façade with 2/2 double hung sash windows, decorative gable, first floor façade with off centered wood and glass door with sidelights and transom, flanking 1/1 double hung sash windows, partial width porch with shed roof, tapered columns, open rail balustrade. Contributing resource.

History: Applicant received a COA in June 2020 to restore windows, rebuild front porch and wrap around the side, replace columns, remove newer addition on rear, extend rear deck, install Porta Cochere on side yard, and other renovations. Most of these have now been completed along with total rehab of the interior space.

Proposal: The petitioner requests a COA for the following:

1. Renew approval to install Porta Cochere on side yard for covered parking. Drive will be raised to provide a zero-entry threshold into the house.
2. Install a 2'h x 16"w curb wall along front of 11th St and wrapping around the side on 4th Avenue. Wall will be block with stucco to match foundation of house.

Proposed Guidelines:

A. THE ENVIRONMENT:

1. The environment consists of all exterior features in the designated historic districts which are visible to the public and includes structures, outbuildings, landscaping, streets, appurtenances, trees, mass and spacing between structures, scale, mass, color and materials of buildings that give a neighborhood its distinguishing character and contributes to its historic district designation.
2. Significant landscape features such as public parks and gardens, street lighting, signs, street benches, sidewalks, streets, alleys and building setbacks that have traditionally been maintained in the historic district and that contribute to its historic character should be retained. Existing streets should not be widened. paving material should not be changed to a different texture and color. Inappropriate new streets or parking lots incompatible with the neighborhood should not be constructed. (updated 08/12/14)
3. New plant materials, fencing, walkways, housing and other outdoor lights, signs, benches, etc. should be compatible with the character of the neighborhood in size, scale, material and color.
4. Plant material should be maintained so as not to become a hazard to the public, public property or shall not be allowed to cause deterioration to structures.

5. Existing street trees should not be removed without a plan for replacement. (*updated 08/12/14*)

1. Outbuildings:

- a. Garages and storage buildings should reflect the character of the existing structure and surrounding buildings and should be compatible in terms of height, scale, roof shape, materials, texture and details.
- b. Garages, if visible from the street, should be situated on the lot as historically traditional from the neighborhood.
- c. The location and design of outbuildings should not be visually disruptive to the character of the surrounding buildings.

2. Appurtenances: Appurtenances related to new buildings, including driveways, sidewalks, lighting, fences, and walls, shall be visually compatible with the environment of the existing buildings and sites to which they relate.

The following items DO NOT require a COA:

- Maintenance repairs to garages and accessory buildings when there is no change in the design and material

The following commonly requested projects require a COA:

- Garages and accessory structures not larger than 8' x 12' in rear yards and not visible from the street (staff approval)
- Garages and accessory structures larger than 8' x 12' or that are visible from the street (commission approval)

10. Appurtenances:

- a. Appurtenances related to a building (fences, walls, outdoor lighting, steps, paving, sidewalks and signs) should be visually compatible with the environment to which they are related.

- b. Fences:

The size, scale, and transparent quality of the fence shall be considered in the design to minimize the impact on the historic fabric on the neighborhood. The orientation and location of the fence shall also be considered, with the structural members located on the interior of the fence (pretty side out) and the location and size such that it does not block views of the buildings from the street.

Front, side and rear yard area will be determined on a case-by-case basis from a site plan showing the footprint of house and proposed fence, due to the variety of lot and building shapes. Generally speaking, the front yard is the portion of lot between the street and the rear edge of the building; the side yard is the portion of lot behind the house, between the sidewalk and the rear corner of the building, on corner lots; and the rear yard is the portion of lot behind house. Staff approval may be granted for fences that clearly fall within the guideline specifications; particularly those pertaining to staff permissible materials and fence heights.

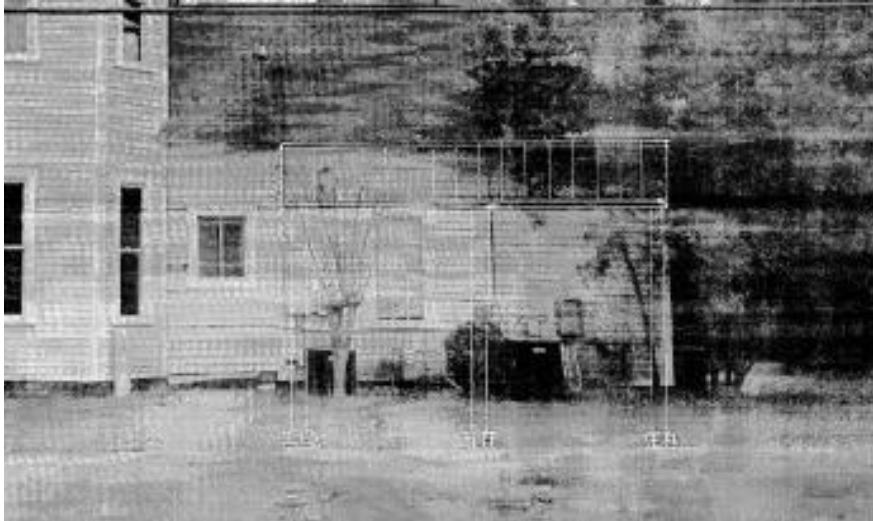
1. Low retaining walls in front and side yards should be kept where they exist. If new retaining walls are required, they should match the existing or match a documented example correct for the period of the structure.
2. Existing period fencing should be maintained and repaired. Where necessary to replace period fencing, it should be replaced with compatible fencing of the same material, size and appropriate design.

3. Materials:

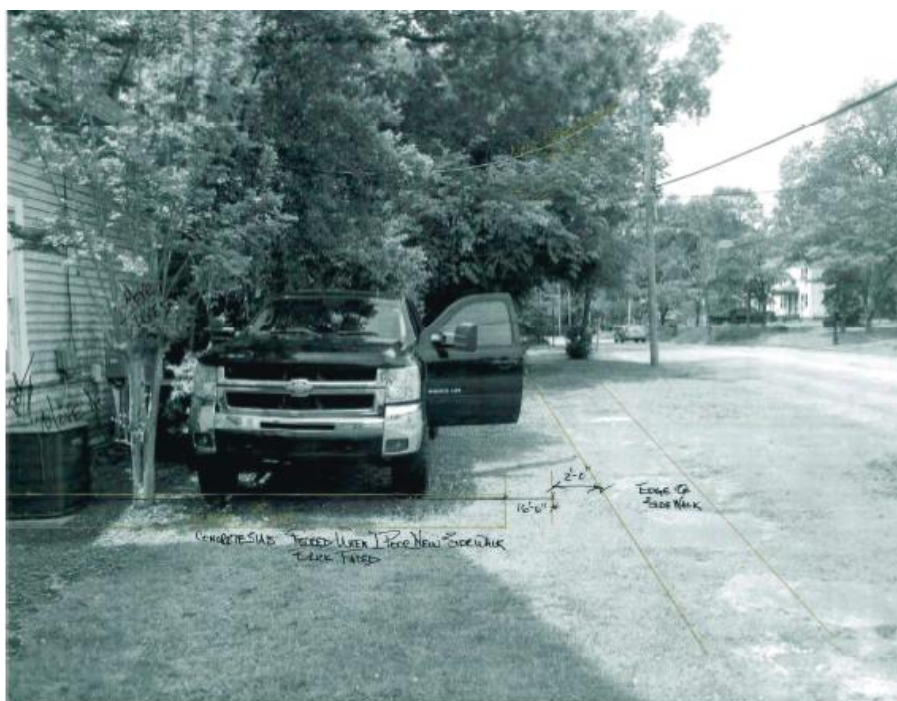
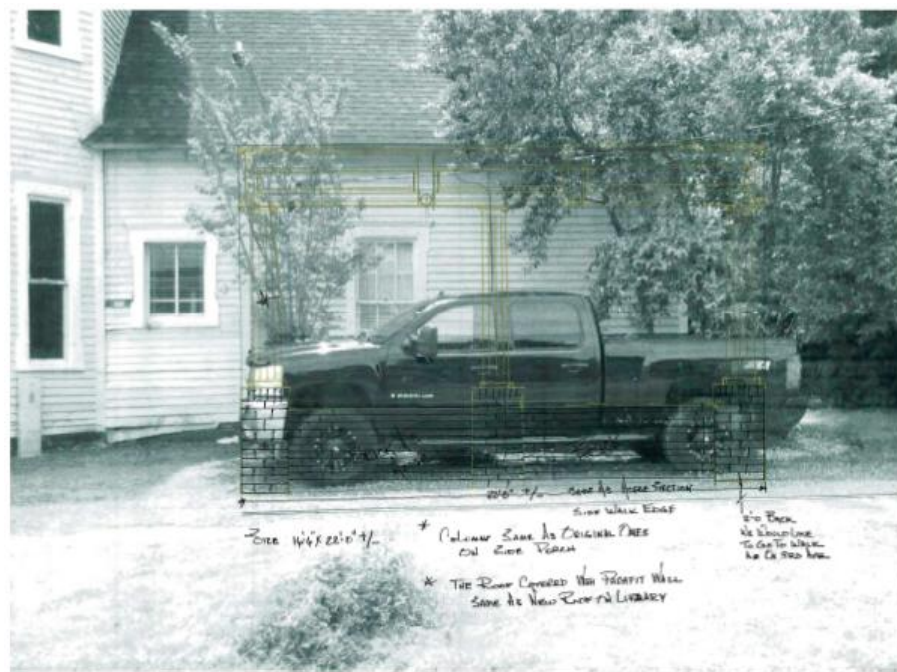
Where a fence is desired to be installed, it should be appropriate for the period and architectural style of the structure. Materials and size of the fence should be documented as correct for the period of the structure.

- i. Appropriate materials: wood, iron, wire, stone or plants.
- ii. Inappropriate materials: chain link, concrete block, unfaced concrete, plastic, fiberglass, plywood, slatted "snow" fences and mesh "construction" fences
- iii. Chain link fences may be used in rear yards, if visible from the street, shall be camouflaged with vegetation.
- iv. Staff approved fences are limited to wood dog ear and open gothic fences as pictured below. Other styles or materials require formal Commission approval.

Photo's:



Addition of Porte Conchere on side (4th Ave)

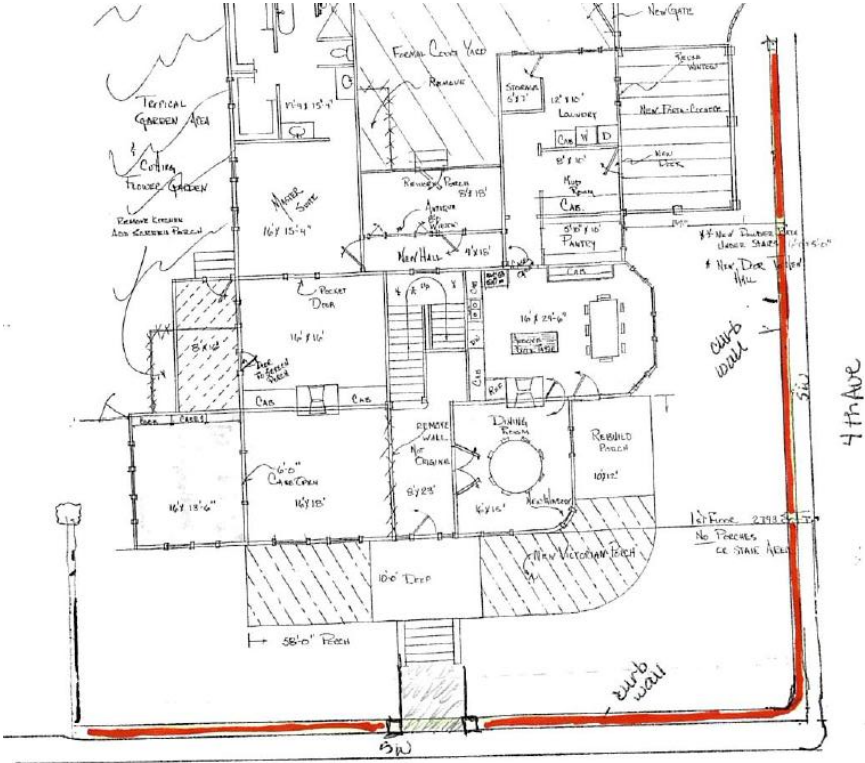




Example: 3rd Ave/11th St



Additional view: 3rd Ave/11th St



Curb wall site plan along N. 11th St and 4th Ave; placed behind the sidewalk



View of sidewalk on 11th St



Shows 16" depth for wall



Curb wall will tie into wall on left side along property line



Example: 10th St/4th Ave



Example: stucco with poured concrete cap



Current house foundation

Staff recommendations:

1. *Staff does not object to the design and construction of the Porte Cochere. Porte Cocheres are common among historic homes. Setback variance was approved by ZBA in June 2020.*
2. *Staff does not object to installation of a curb wall because they are common in the historic district. Approval is contingent on right of way approval by Engineering, Planning, and/or City Council.*

City of Opelika
Historic Preservation Commission
Staff Report



Agenda Item #: 2
Meeting Date: 08/13/2026
Action Requested: COA: Rear Addition, Parking, Side Door, Outdoor Seating
Location of Property: 609 Geneva St; Geneva Historic District
Petitioner: Kevin Lyons
Resources:

Stokley House, Circa 1900. One-story, frame, hip and gable roof, partial wraparound porch with Tuscan columns on piers, siding and Perma stone. Contributing Resource.

Proposal: The petitioner requests a COA for the following:

1. Remove current rear deck and build a 15 x 30 rear addition for a commercial kitchen.
2. Demo rear garage and add gravel parking to accommodate approximately twenty (20) spaces and one (1) ADA concrete parking pad with sidewalk.
3. Install 6ft wood privacy fencing to provide screen at rear property line and parking lot. Landscape plan included.
4. Install 4ft aluminum fencing in side yard around outdoors sitting area with fountain.
5. Remove one (1) dogwood and one (1) pecan tree. Replacement plan includes planting black gum and dogwood trees. See complete landscape plan including ground lighting, fountain, and outdoor seating.
6. Add exterior entrance and wood ramp and decking for ADA compliance.
7. Install ceiling fans with lights and furniture on front porch for seating.
8. Install a 3'w x 5'h monument sign with painted stone foundation to match existing structure.

Proposed Guidelines:

A. THE ENVIRONMENT:

1. The environment consists of all exterior features in the designated historic districts which are visible to the public and includes structures, outbuildings, landscaping, streets, appurtenances, trees, mass and spacing between structures, scale, mass, color and materials of buildings that give a neighborhood its distinguishing character and contributes to its historic district designation.
2. Significant landscape features such as public parks and gardens, street lighting, signs, street benches, sidewalks, streets, alleys and building setbacks that have traditionally been maintained in the historic district and that contribute to its historic character should be retained. Existing streets should not be widened. paving material should not be changed to a different texture and color. Inappropriate new streets or parking lots incompatible with the neighborhood should not be constructed. (updated 08/12/14)
3. New plant materials, fencing, walkways, housing and other outdoor lights, signs, benches, etc. should be compatible with the character of the neighborhood in size, scale, material and color.

4. Plant material should be maintained so as not to become a hazard to the public, public property or shall not be allowed to cause deterioration to structures.
 5. Existing street trees should not be removed without a plan for replacement. (*updated 08/12/14*)
1. Additions are areas that increase the living or working space of a structure. This does not include the addition of architectural elements.
 2. Additions should be compatible with the architectural style of the structure and should not obscure, remove, conceal or replace significant architectural features of the existing structure. Additions should be compatible in scale, mass, proportion, materials, texture and color to the existing structure.
 3. Additions should follow the guidelines for new construction

The following items DO NOT require a COA:

- Installation of temporary/emergency wheelchair ramps when they are not attached to the building

The following commonly requested projects require a COA:

- Installation of temporary wheelchair ramps (staff approval)

H. DEMOLITION:

1. Definition: The tearing down of a building by active means or by neglect resulting in the structural decay of the original building fabric. Neglect means not maintaining a weatherproof, watertight, secure building, structurally stable and/or maintaining vegetation around the structure or structures on the property.
2. Since the purpose of historic zoning is to protect historic properties, the demolition of a building which contributes historically or architecturally to the character and significance of the district is inappropriate and shall be avoided. This means demolition by active means or by neglect in failure to maintain a property. This also includes any structure that contributes to the architectural character of the historic district, not just the most outstanding architectural structures in the district, but the ordinary period structures as well.
3. Demolition is inappropriate:
 - a. if a building is of such architectural or historical interest and value that its removal would be detrimental to the public interest.
 - b. if a building is listed as contributing to the architectural character of the district.
 - c. if a building is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.
 - d. if its proposed replacement would make a less positive visual contribution to the district, would disrupt the character of the district or would be visually incompatible.
 - e. if a building is listed as contributing to the architectural character of the district or qualifies for any of the above a through d and can be feasibly stabilized and no new compatible structure is proposed to be built on the site. An existing structure shall not be demolished for a parking lot or vacant lot. The applicant for demolition must demonstrate financial resources for stabilizing the site after demolition and the construction of a new building or new structure. Stabilization plans as well as Architectural plans and specifications for the new construction along with a schedule for their completion shall be presented to the Opelika Historic Preservation Commission prior to a COA for demolition being issued.
4. Demolition is appropriate:
 - a. if a building has completely lost its architectural and historical integrity and importance and has become structurally unsound and its removal will not result in a more negative, less appropriate visual effect on the district.

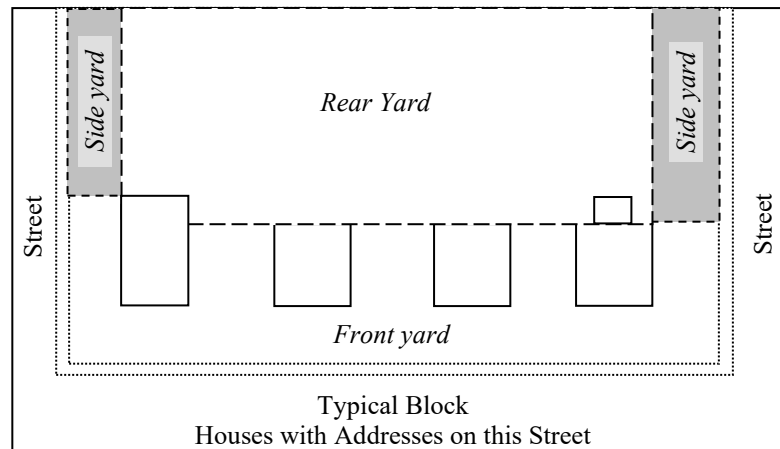
- b. if a building is not listed as contributing to the historical or architectural character and importance of the historic district and its removal will result in a more positive, appropriate visual effect on the district.

10. Appurtenances:

- a. Appurtenances related to a building (fences, walls, outdoor lighting, steps, paving, sidewalks and signs) should be visually compatible with the environment to which they are related.

- b. Fences:

The size, scale, and transparent quality of the fence shall be considered in the design to minimize the impact on the historic fabric on the neighborhood. The orientation and location of the fence shall also be considered, with the structural members located on the interior of the fence (pretty side out) and the location and size such that it does not block views of the buildings from the street.



Front, side and rear yard area will be determined on a case-by-case basis from a site plan showing the footprint of house and proposed fence, due to the variety of lot and building shapes. Generally speaking, the front yard is the portion of lot between the street and the rear edge of the building; the side yard is the portion of lot behind the house, between the sidewalk and the rear corner of the building, on corner lots; and the rear yard is the portion of lot behind house. Staff approval may be granted for fences that clearly fall within the guideline specifications; particularly those pertaining to staff permissible materials and fence heights.

1. Low retaining walls in front and side yards should be kept where they exist. If new retaining walls are required, they should match the existing or match a documented example correct for the period of the structure.
2. Existing period fencing should be maintained and repaired. Where necessary to replace period fencing, it should be replaced with compatible fencing of the same material, size and appropriate design.
3. Materials:

Where a fence is desired to be installed, it should be appropriate for the period and architectural style of the structure. Materials and size of the fence should be documented as correct for the period of the structure.

 - i. Appropriate materials: wood, iron, wire, stone or plants.
 - ii. Inappropriate materials: chain link, concrete block, unfaced concrete, plastic, fiberglass, plywood, slated "snow" fences and mesh "construction" fences
 - iii. Chain link fences may be used in rear yards, if visible from the street, shall be camouflaged with vegetation.
 - iv. Staff approved fences are limited to wood dog ear and open gothic fences as pictured below. Other styles or materials require formal Commission approval.

6. Doors:

- a. The original size and shape of door openings should be maintained. Original doors and door hardware should be repaired and reused in place. Original transoms, sidelights and doors should be maintained.
- b. Replacement doors, when necessary, should be compatible with the original doors in terms of style, texture and size.

- c. Shiny aluminum storm doors and screen doors are not appropriate. Full view storm doors painted to match the door are appropriate.
- d. New door openings should not be introduced on the front, principal façade of the structure.
- e. Original door openings should not be filled in.

The following items DO NOT require a COA:

- Re-glazing of windows or replacing broken panes of glass
- Repairs to original wood windows and doors when there is no change in appearance and material
- Painting of window frames and sashes
- Installation of full view (glazed) storm windows and doors – either wood or aluminum with baked enamel or painted finish are acceptable

The following commonly requested projects require a COA:

- Replacement of original windows
- Removal or addition of a window or door opening
- Exposing a previously covered window units with a replacement according to the guidelines

d. Signs:

1. The appearance, size, position, method of attachment, texture of materials, color, and design of signs shall be in keeping with the collective characteristics of the structures surrounding the property on which the sign will be located. *Murals and advertising relevant to the historic district is permitted. (updated 08/12/14)*
2. Off-site signs shall not be permitted.
3. Signs shall be limited to one sign for each street frontage per premise and if placed in the yard, less than five feet in height.
4. The maximum area of any sign located in a historic residential district shall be four (4) square feet; the maximum area of any sign in a historic commercial district shall be limited to twenty-four (24) square feet, *and in the Gateway Corridor (Geneva St, 10th St, Torbert Ave) shall be limited to forty-eight (48) square feet*, unless acceptable documentation proves that original signage from the date of construction of the building or the most significant architectural renovation of the building was larger. *(updated 08/12/14)*
5. No sign that flashes, blinks, revolves or is put in motion by the atmosphere shall be permitted. No visible bulbs, plastics or luminous paints will be permitted as a part of any sign.
6. Buildings and signs may be illuminated by remote light sources, provided that these light sources are shielded to protect adjacent properties.
7. Signs attached to the structures shall not cover any architectural feature.
8. Real estate signs shall be removed not more than ten (10) calendar days after the closing of a sale of a house, building, or lot.

The following items DO NOT require a COA:

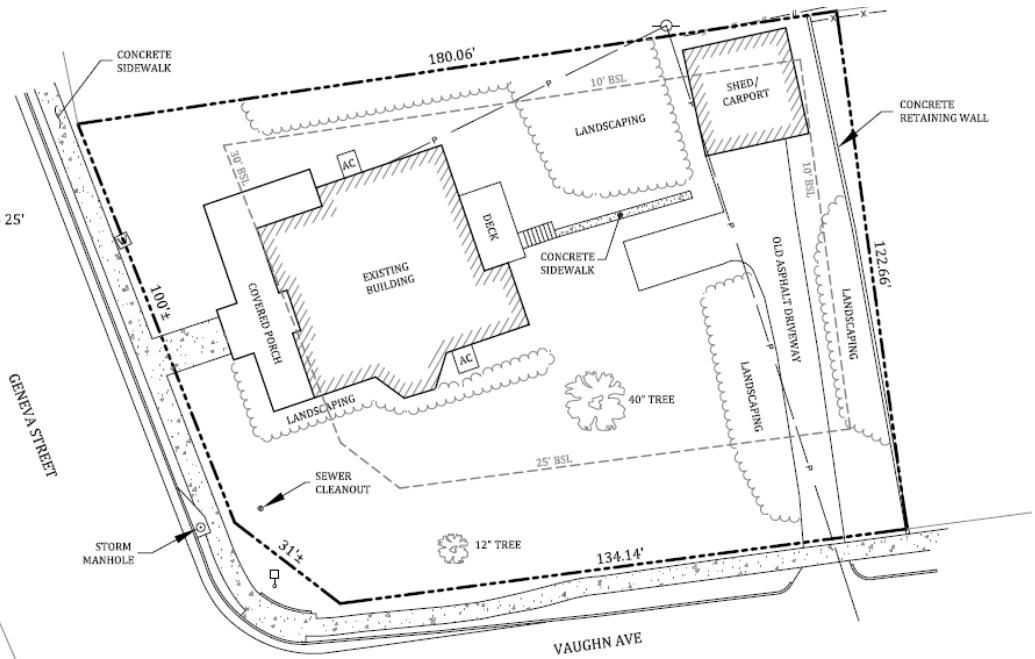
- Real estate signs
- Home security signs
- Temporary signs and banners

The following commonly requested projects require a COA:

- All new building/business identification signage
- Replacement signs that differ in dimension, design, material or location from the existing

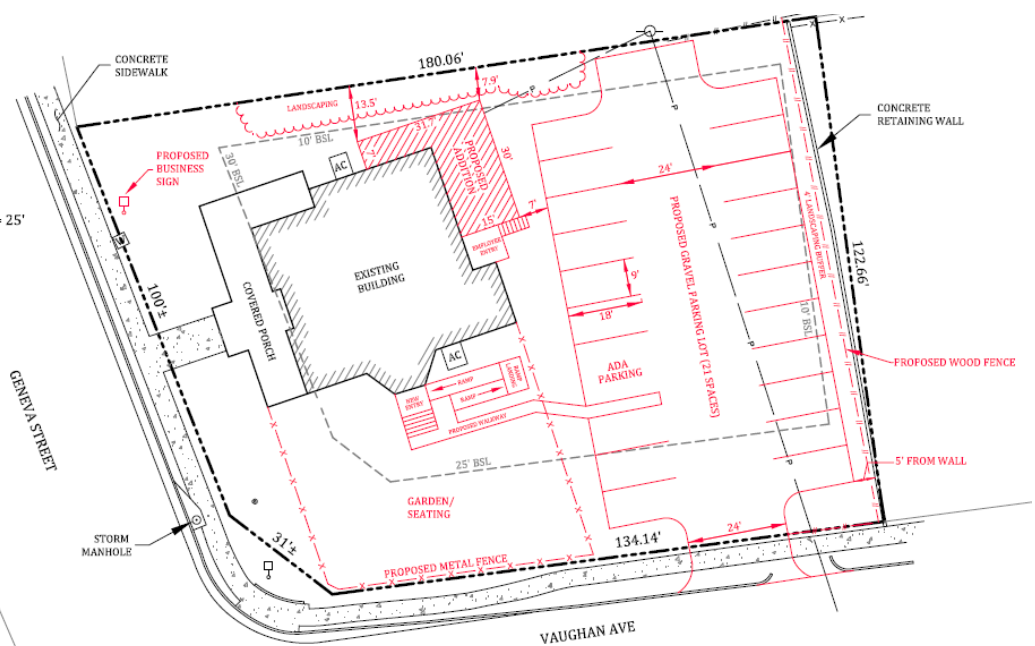
Photo's:

ZONING INFO
 ZONE = C-2
 FRONT SETBACK = 30'
 REAR SETBACK = 30'
 SIDE SETBACK = 10'
 SIDE SETBACK (ON STREET) = 25'



Existing site plan

ZONING INFO
 ZONE = C-2
 FRONT SETBACK = 30'
 REAR SETBACK = 30'
 SIDE SETBACK = 10'
 SIDE SETBACK (ON STREET) = 25'



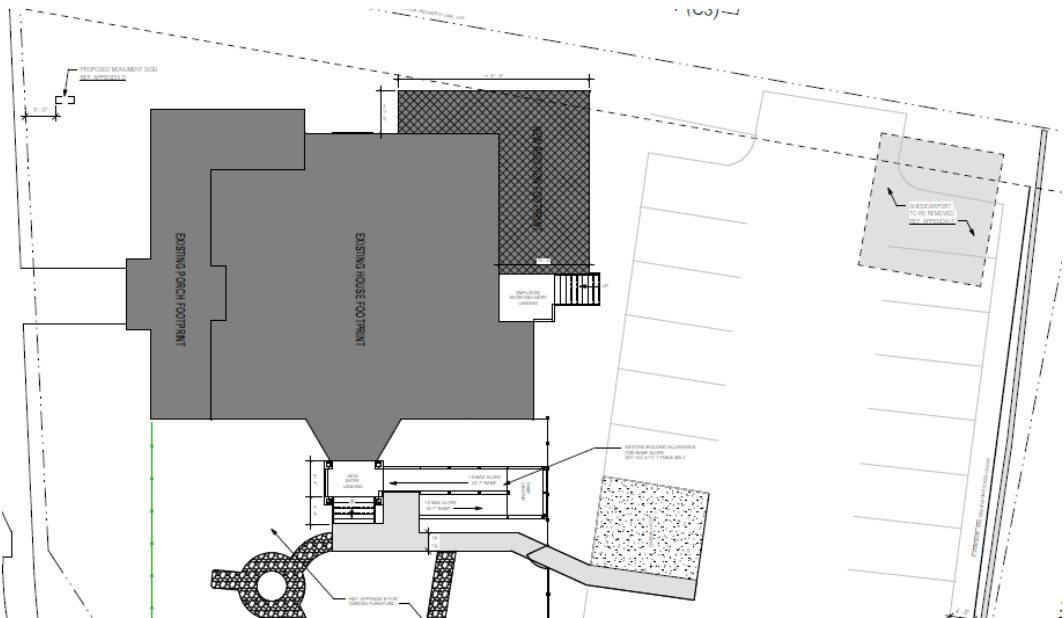
Proposed site plan showing ADA ramp, parking, addition, fencing and landscaping



Rear view-deck to be removed and commercial kitchen addition added



Carport/shed in rear yard- to be demolished to allow addition and parking



Site plan showing location of shed in rear corner, addition, and ADA ramp



Proposed kitchen addition with employee entrance. Exterior w/ aluminum siding and stucco finish foundation to match existing structure.



Wood doors for side and rear entry-fir w/transom

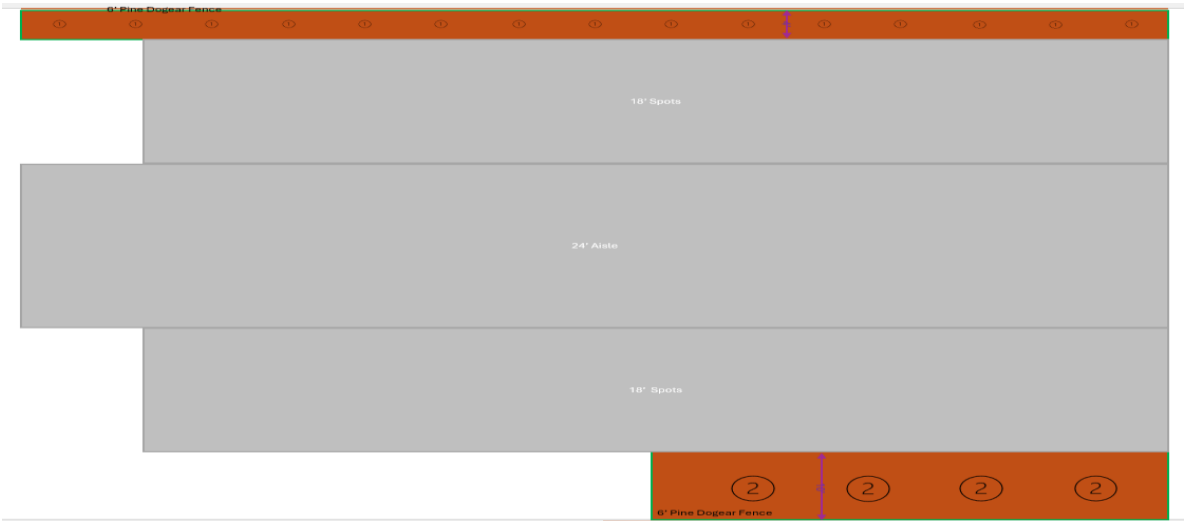
3-0 x 6-8, LH I/S, DBL BORE,
FIR 1LT Low-E 3/4 View /1Pnl, 4-
9/16" Fir Jamb, BRZ Adj Sill, BRZ
W/S, STD US10B With Transom
Applied: 14" Continuous trsm, 1Lt
IG, Fir 180 BM, Wd Sweep,



Wall sconce outside doors



Street view of carpot/shed and current driveway



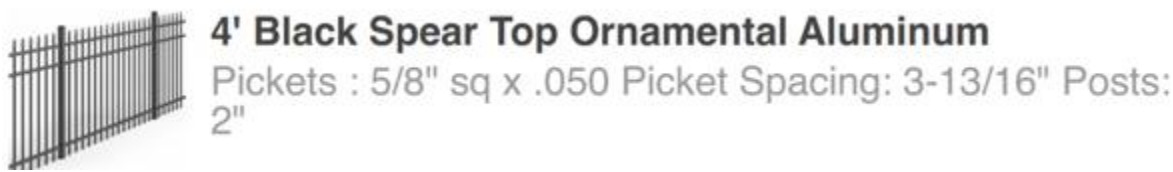
Parking plan includes 20 parking space, 1 ADA poured concrete space. Dwarf Burford Holly shrubs (15) will be planted along the front line.



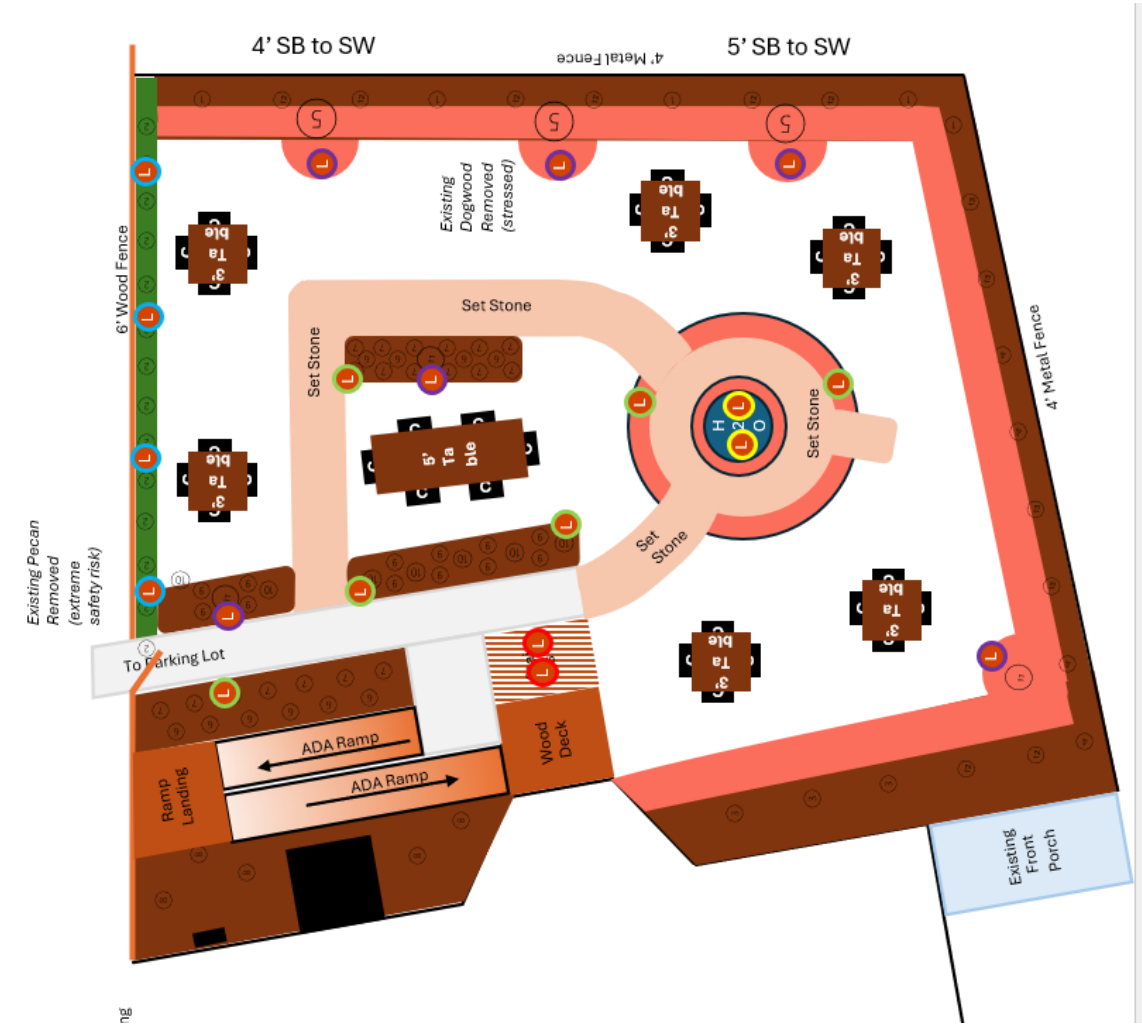
6ft pine wood fence along rear property boundry and residential neighbor-landscape plan includes Little Gem Magnolias (4) along rear



Side yard (facing Vaughan Ave) view-future parking and outdoor dining area



Fencing around outdoor seating area



Outdoor seating includes stone walking path and fountain.



Three tier water fountain



Grey powder-coated steel mesh dining sets and wood park-style benches



9ft round umbrellas in red, green, and white representing the Italian flag colors

Low Voltage Lighting Fixtures (border color indicates location across all plans)



Along paths (9-10)



Under trees pointed up trunk (6-7)



In each stair riser (2-3)



On 6' wood fence (4)



in fountain (2-4)

Outdoor lighting



Pecan tree-side yard



Dogwood tree-side yard

*See arborist report recommending removal and replacement trees.



Landscape plan



Front view w/new landscaping



Side view w/new landscaping



Rear view w/new landscaping



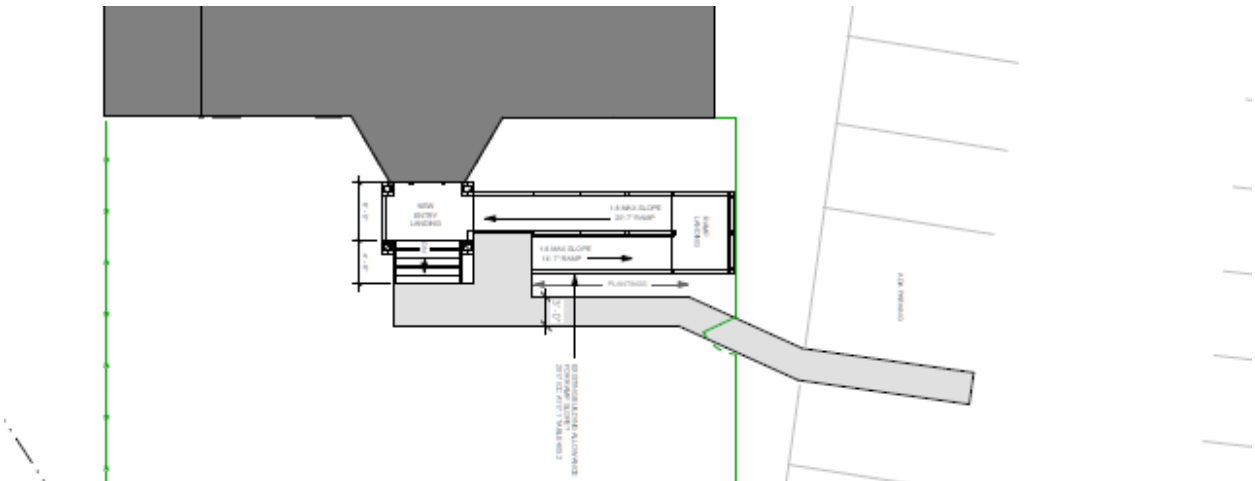
Side view (Vaughan Ave)-replace small window with entry door for ADA access



Proposed new entry with wood door and transom for ADA access. Wood steps and ADA ramp with simple railing.



Front elevation view of new side entry with porch landing and steps. Foundation and column bases w/stucco finish, painted to match existing foundation walls.



Drawing shows ADA access from parking to new entrance-bay/bump out will be retained



Front porch



Side porch



Outdoor porch seating sets



Combination of additional seating options



Bronze ceiling fans for front porch

Note: Rectangular planters will be custom built from wood (cedar)



Front yard-sign location



Proposed monument sign w/painted stone foundation and wood panels with painted and/or raised lettering

Staff recommendations:

1. *Staff recommends approval of demolition of carport/shed to allow for kitchen addition and parking. This structure is not original to the house and has no historic significance.*
2. *Staff recommends approval of rear addition with aluminum siding and stucco foundation matching existing structure. Applicant shall receive setback variance from ZBA prior to construction.*
3. *Staff recommends approval of gravel parking to include rear 6ft privacy fencing and landscape trees and ADA concrete parking pad.*
4. *Staff recommends approval of 4ft aluminum fencing around outdoor seating area, fountain, aluminum dining sets, and umbrellas.*

5. *Staff recommends approval of removing damaged pecan and dogwood tree based on arborist report.*
6. *Staff recommends approval of new side entry to include wood door w/transom window, wood ADA ramp and landing with simple railing, and stucco foundation finish matching existing structure.*
7. *Staff recommends approval of all front porch seating furniture, planters, and ceiling fans.*
8. *Staff recommends approval of wood faced monument sign with painted stone foundation.*

City of Opelika
Historic Preservation Commission
Staff Report



Agenda Item #: 3
Meeting Date: 08/13/2026
Action Requested: COA: Expand Front Porch
Location of Property: 904 5th Ave; Northside Historic District
Petitioner: Clay & Jennifer Harper

Resources:

Circa 1940. One story, wood frame bungalow with hip roof of asphalt shingles, interior chimney, weatherboard siding, off centered wood and glass pane door, flanking 8/1 double hung sash windows, partial width porch with gable roof, columns on brick piers. Contributing Resource.

Proposal: The petitioner requests a COA for the following:

1. Extend roof line of front porch to the right. Add an additional column to match existing for support with stone or brick bases, build bench style wall, and install copper gas lanterns.

Proposed Guidelines:

7. Entrances, Porches and Steps:

- a. Porches and steps that are appropriate to the building and its development should be retained. Porches or additions that reflect later architectural styles are often important to the building's historical integrity and wherever possible, should be retained.
- b. Original material and architectural features, such as handrails, balusters, columns, brackets and roof decoration shall be preserved. Where necessary to replace deteriorated pieces, the new material should match the original in texture, shape, size and color.
- c. Original details and shape, outline, roof height and roof pitch should be retained.
- d. Enclosing of front porches is inappropriate if done in a manner that destroys their intended appearance.
- e. The enclosing of side and rear porches may be considered appropriate if the visual openness and character of the original porch is maintained.

The following items DO NOT require a COA:

- Minor repairs to materials and features when repaired to match the original
- Porch flooring and ceilings, trim boards, railings, brackets, etc.

The following commonly requested projects require a COA:

- Removal or addition of porches
- Screening of side porches according to guidelines (staff approval)

- Screening of front porches according to guidelines (commission approval)
- Enclosure of porches

Photo's:



Current front elevation



Proposed new front elevation w/ expanded roofline, porch, and additional column



114 N. 11th St – stone covered with stucco and painted



612 N. 8th St

**Cottages in the Northside
Historic District: 37**

Brick base columns: 29
Rock base columns: 2
Wood columns: 2
Iron columns: 1
4x4 post: 1
Stucco: 1
Demo: 1



401 3rd Ave



Proposed copper lighting



Staff recommendation:

1. Staff recommends approval of extending the roof line of the front porch, adding the additional column for support, and copper gas light lanterns.
2. Staff recommends approval of brick column foundations, painted or unpainted. Staff does not recommend overlaying contemporary stacked stones over existing historic material.

City of Opelika
Historic Preservation Commission
Staff Report



Agenda Item #: 4
Meeting Date: 08/13/2026
Action Requested: COA: Rebuild Structure
Location of Property: 409 Geneva St; Geneva Historic District
Petitioner: John Marsh
Resources:

Butler-Canon House c. 1890. The Canon House is of Victorian Influence and is on-story frame with a hip roof with cross gables. This residence has characteristics similar to 411 Geneva St: Window trim on front windows, recessed entrance with pilasters to either side of the door, sidelights and transoms. The porch is supported by four fluted columns and two fluted pilasters. The back porch has been enclosed since 1924 to create a sunroom. Because of the slope of the corner lot, the house has a full basement to the rear. The house is thought to have been built c. 1890, but with fewer rooms and an open back porch. The kitchen and dining areas were in the brick-floored basement. John Bluford Butler moved his family there in 1986. Mr. Butler was Tax Assessor of Lee County. Contributing Structure.

Proposal: The petitioner requests a COA for the following:

1. Rebuild roof structure and install galvanized metal roof.
2. Replace siding where needed with wood or Hardie of the same reveal.
3. Repair available historic windows. Install new wood or composite windows of the same scale and light pattern.
4. Restoration and rebuilding include the original sleeping porch that was later enclosed to a sunroom on the rear. This sleeping porch will be recreated with a simple railing.
5. Install graveled parking in the rear, along Ave D, to accommodate 10 spaces. A 6ft privacy fence will screen parking from public view.

Proposed Guidelines:

A. THE ENVIRONMENT:

1. The environment consists of all exterior features in the designated historic districts which are visible to the public and includes structures, outbuildings, landscaping, streets, appurtenances, trees, mass and spacing between structures, scale, mass, color and materials of buildings that give a neighborhood its distinguishing character and contributes to its historic district designation.
2. Significant landscape features such as public parks and gardens, street lighting, signs, street benches, sidewalks, streets, alleys and building setbacks that have traditionally been maintained in the historic district and that contribute to its historic character should be retained. Existing streets should not be widened. paving material should not be changed to a different texture and

color. Inappropriate new streets or parking lots incompatible with the neighborhood should not be constructed. (*updated 08/12/14*)

3. New plant materials, fencing, walkways, housing and other outdoor lights, signs, benches, etc. should be compatible with the character of the neighborhood in size, scale, material and color.
4. Plant material should be maintained so as not to become a hazard to the public, public property or shall not be allowed to cause deterioration to structures.
5. Existing street trees should not be removed without a plan for replacement. (*updated 08/12/14*)

1. Outbuildings:

- a. Garages and storage buildings should reflect the character of the existing structure and surrounding buildings and should be compatible in terms of height, scale, roof shape, materials, texture and details.
- b. Garages, if visible from the street, should be situated on the lot as historically traditional from the neighborhood.
- c. The location and design of outbuildings should not be visually disruptive to the character of the surrounding buildings.

2. Appurtenances: Appurtenances related to new buildings, including driveways, sidewalks, lighting, fences, and walls, shall be visually compatible with the environment of the existing buildings and sites to which they relate.

The following items DO NOT require a COA:

- Maintenance repairs to garages and accessory buildings when there is no change in the design and material

The following commonly requested projects require a COA:

- Garages and accessory structures not larger than 8' x 12' in rear yards and not visible from the street (staff approval)
- Garages and accessory structures larger than 8' x 12' or that are visible from the street (commission approval)

2. Wood:

- a. Significant architectural features should be retained and preserved. Deteriorated material should be repaired or replaced with material that duplicates in size, shape and texture the old material as closely as possible. Composite and other materials may be used so long as these materials duplicate the original in size, shape and texture and do not cover any existing wood materials.
- b. Do not remove architectural features such as siding, cornices, brackets, window architraves, doorway pediments, trim, shutters, etc. These are an essential part of a building's character and appearance and illustrate the history of the building.
- c. Do not resurface frame buildings with new material that is inappropriate or is incongruous with the architectural style or materials of the asphalt shingles or siding. Aluminum or vinyl siding overlaid over wood siding, wood soffit or wood fascia is not allowed on contributing structures in historic districts (see <http://www.nps.gov/history/hps/tps/briefs/brief08.htm>). It may be allowed on non-contributing structures in historic districts, subject to the guidelines above and on a case-by-case basis. In no event shall vinyl or aluminum material be permitted to cover existing wood detailed trim such as door and window casings, wood cornice and frieze boards, brackets, window architraves, doorway pediments and wood columns.

4. Roofs and Roofing:

- a. Original roof shape and pitch should be maintained.
- b. Provide adequate roof drainage and ensure that the roofing materials provide a weather tight covering for the structure.
- c. Retain the original roofing material whenever possible.
- d. Replace deteriorated roof covering with new materials that are compatible with the period of the structure and appropriate to the structure. Fiberglass asphalt shingles may be substituted for original roofing when it is not economically feasible to replace or repair with original materials or

when the original roof is beyond repair. The color and texture of fiberglass-asphalt shingles should be appropriate to the architectural style and period of the structure.

- e. Built-in gutters may be covered over when it is not economically feasible to maintain or replace or repair with original material. Care should be taken to provide for the drainage of water away from the structure if built-in gutters are covered over.
- f. Preserve or replace where necessary, but do not remove, all architectural features that give the roof its essential character, such as dormer windows, cupolas, cornices, brackets, chimneys, cresting and weathervanes.
- g. Do not introduce new roof features, such as dormers where none existed before. Low profile skylights may be used on the side or rear facades not facing a street.
 - Built-in gutters may be covered over when it is not economically feasible to maintain or replace or repair with original material. Care should be taken to provide for the drainage of water away from the structure if built-in gutters are covered over.
 - Replacement of existing asphalt composition roofing shingles

The following commonly requested projects require a COA:

- Changes in roofing material including the removal and replacement of slate, terracotta tile and standing seam metal roofing materials

5. Windows:

- a. Retain and repair existing windows including window sash, glass, lintels, sills, architraves, shutters, pediments, hoods and hardware. If new sashes are used, duplicate the original material, design, size and hardware of the original window. Do not change window size, sash size or windowpane size.
- b. Do not introduce or create new window openings into the front principal elevation of the structure and do not enlarge or reduce original window openings to fit new stock window sizes.
- c. The original number and arrangement of panes should be maintained.
- d. Storm windows should be visually unobtrusive and should not damage existing window frames. Storm windows should be designed so that they can be removed in the future without damage to the original fabric of the structure. Storm windows should be compatible in color and design with the original windows. For example, mill finished aluminum storm windows should not be used with painted window sash.
- e. Plastic, canvas or metal strip awnings or fake shutters that are not compatible with the architectural style of the structure should not be used.
- f. Where existing shutters are replaced or reinstalled when missing, the new shutters shall be sized to fit the window opening, in height and width, whether the shutters are fixed or operable. Composite materials are allowable for shutters so long as they duplicate the original in shape and texture.
- g. New window openings should not be introduced unless they match the existing window configuration and their placement harmonized with the existing rhythm of openings.
- h. Original windows should not be filled in.

6. Doors:

- a. The original size and shape of door openings should be maintained. Original doors and door hardware should be repaired and reused in place. Original transoms, sidelights and doors should be maintained.
- b. Replacement doors when necessary, should be compatible with the original doors in terms of style, texture and size.
- c. Shiny aluminum storm doors and screen doors are not appropriate. Full view storm doors painted to match the door are appropriate.
- d. New door openings should not be introduced on the front, principal façade of the structure.
- e. Original door openings should not be filled in.

The following items DO NOT require a COA:

- Re-glazing of windows or replacing broken panes of glass
- Repairs to original wood windows and doors when there is no change in appearance and material
- Painting of window frames and sashes
- Installation of full view (glazed) storm windows and doors – either wood or aluminum with baked enamel or painted finish are acceptable

The following commonly requested projects require a COA:

- Replacement of original windows
- Removal or addition of a window or door opening
- Exposing a previously covered window units with a replacement according to the guidelines

7. Entrances, Porches and Steps:

- a. Porches and steps that are appropriate to the building and its development should be retained. Porches or additions that reflect later architectural styles are often important to the building's historical integrity and wherever possible, should be retained.
- b. Original material and architectural features, such as handrails, balusters, columns, brackets and roof decoration shall be preserved. Where necessary to replace deteriorated pieces, the new material should match the original in texture, shape, size and color.
- c. Original details and shape, outline, roof height and roof pitch should be retained.
- d. Enclosing of front porches is inappropriate if done in a manner that destroys their intended appearance.
- e. The enclosing of side and rear porches may be considered appropriate if the visual openness and character of the original porch is maintained.

The following items DO NOT require a COA:

- Minor repairs to materials and features when repaired to match the original
- Porch flooring and ceilings, trim boards, railings, brackets, etc.

The following commonly requested projects require a COA:

- Removal or addition of porches
- Screening of side porches according to guidelines (staff approval)
- Screening of front porches according to guidelines (commission approval)
- Enclosure of porches

9. Architectural Details:

- a. Original details shall be maintained.
- b. The replacement of missing original details should be based on accurate historic, physical or pictorial documentation and should be a close visual approximation of the original.
- c. Architectural details of any period or style not original to the building should not be introduced.
- d. Changes that have taken place in the course of time which are evidence of the history and development of a building, and its environment may have acquired significance in their own right; their significance should be recognized and respected.

c. Lighting:

1. Original lighting fixtures should be retained.
2. Where new lighting fixtures are required, they should be compatible or unobtrusive with the architectural style of the structure.
3. Yard and house lighting shall be compatible with the neighborhood and not overly bright (less than 1-foot candle as measured at the property line).

The following items DO NOT require a COA:

- Motion detector lighting

Photo's:



Before front view



Before side view



Before rear view



Current front view



Current side view



Current rear view (not second floor has been removed)



Fire damage



Fire damage



After debris removed



Rebuild the original plan: front and side view

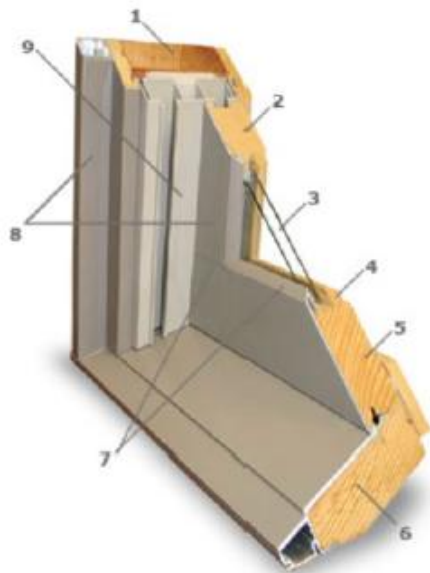


Rebuild: side and rear view- red dots indicate doors and windows to be replaced



Wood door for back porch. All other exterior doors will be salvaged from the original house

Quantum Double Hung



Features

1. 5-1/2" jamb
2. 1-3/4" thick sash
3. 7/8" warm edge insulating glass
4. Interior glazing bead
5. Historical 3-1/4" bottom rail
6. 1-7/8" thick sill with 14° sill angle
7. Mortise and tennon sash with putty-glazed style
8. .050 extruded aluminum on sash and frame. Wood units have primed sash on the exterior with wood sill nosing and cPVC sill, blindstops and brickmould
9. Heavy foam-backed PVC jamb liners with four block and tackle balances per sash

Lincoln aluminum-clad wood windows with 9 over 9 light



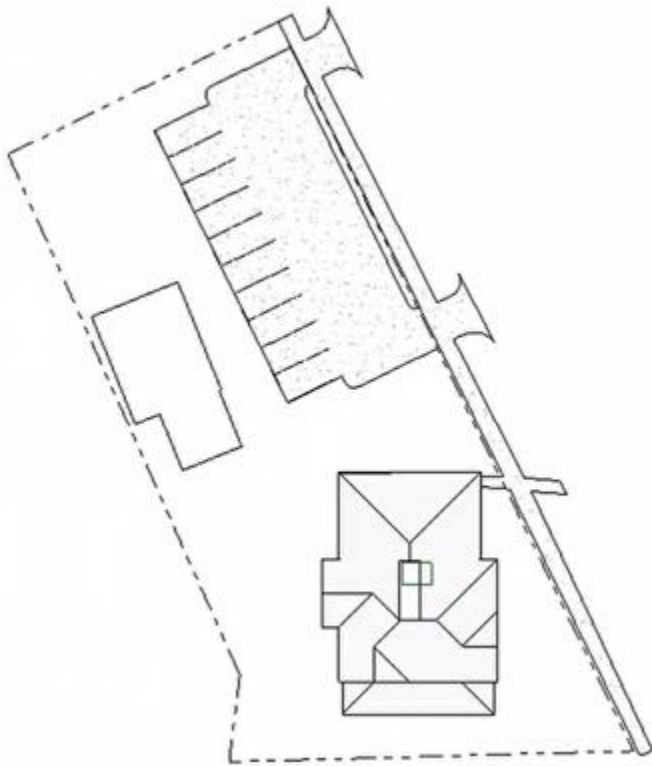
Rear porch simple handrail detail (historically it was very simple pickets)



Front door and back porch light fixtures at doors



Upper and lower porch ceiling light fixture



Graveled parking off Ave D in the rear with 6ft wood privacy fence

Staff recommendations:

1. Staff recommends approval of rebuilding original hip and gable (Jerkinhead) roof structure matching the old roof with galvanized metal roofing material.
2. Staff recommends approval of replacing damaged siding with wood or Hardie of the same reveal as the original structure.
3. Staff recommends approval of new Lincoln aluminum clad wood windows of the same scale and 9/9 light pattern. All trims shall match existing trims on other windows. All other historic wood windows shall be restored.
4. Staff recommends approval of new wood doors and exterior light fixtures.
5. Staff recommends approval of rebuilding the original rear sleeping porch with simple railing, for the sunroom was not original to the house.
6. Staff recommends approval of rear gravel parking with privacy fence for screening.

City of Opelika
Historic Preservation Commission
Staff Report



Agenda Item #: 5
Meeting Date: 08/13/2026
Action Requested: COA: Signage, Landscape, and Parking
Location of Property: 601 S. Railroad Ave; Downtown Historic District
Petitioner: Jake Whaley

Resources:

Robertson-Huskey House. Circa 1894. Two story Second Empire-Italianate home, wood frame, mansard roof and dormers. This home is in the Downtown Historic District. However, it is not on the National Registry.

Proposal: The petitioner requests a COA for the following:

1. Install a 52" x 33" (10.75sf) wood with raised wood letters on existing pole.
2. Install five (5) 4" caliper Willow Oak trees along the right driveway and 6th Street ramp to replace trees previously removed. New landscape plan includes trees, shrubs, a variety of plantings, and grass. Landscape to be installed this Fall after the severe heat has passed.
3. Install gravel parking lot in rear with approximately ten (10) parking spaces in rear and one (1) ADA parking pad near rear entrance and ramp. Parking will have a landscape barrier.

Proposed Guidelines:

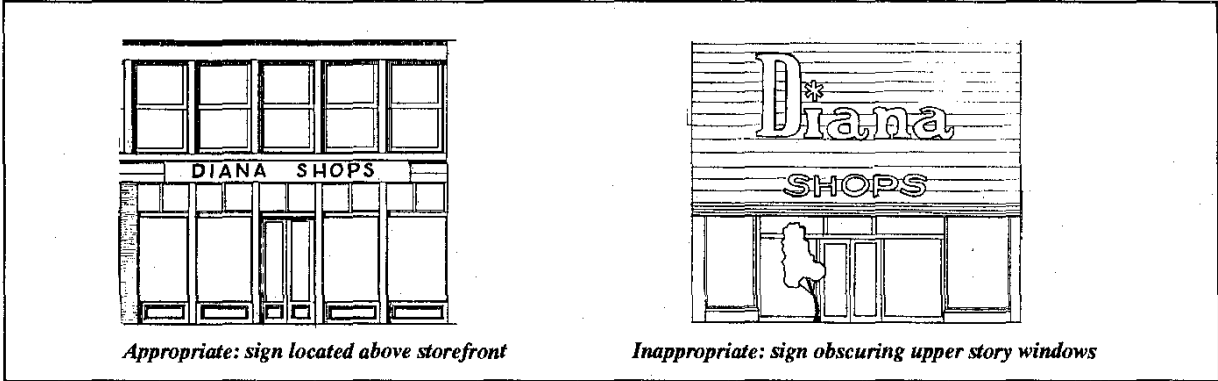
SIGNS #6.

Signs should complement, rather than compete with, the character of the building and downtown.

These design guidelines apply to the exterior signs within the Northside and Geneva Street Historic Preservation Districts. All signs in a historic preservation district must meet the provisions of the Opelika Zoning Ordinance as well as receive a Certificate of Appropriateness. A Certificate of Appropriateness review will determine whether a sign proposal meets the context of these guidelines. Whenever there is a conflict between the regulations of the zoning ordinance and these guidelines, the more stringent regulations will take precedence. (*Updated 08/12/13*)

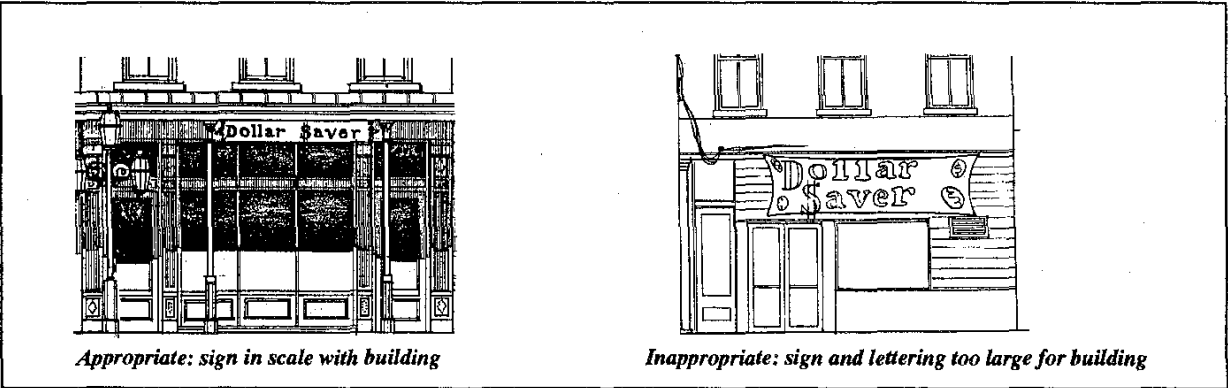
LOCATION: Signs should be designed with the historic character of the building and district in mind. The design should be compatible with the architectural features of a building or neighboring buildings and should not obscure architectural details of the building. Locate signs on flat unadorned parts of the facade or paint directly onto the glass storefront. Hanging signs should not project more than 40 inches beyond adjoining buildings or obscure the view of the streetscape. A hanging sign should be at least 8 feet

off the ground. Signs should not be located on the roof. They should be aligned with others in the area in order to create a more uniform appearance. (Updated 08/12/14)



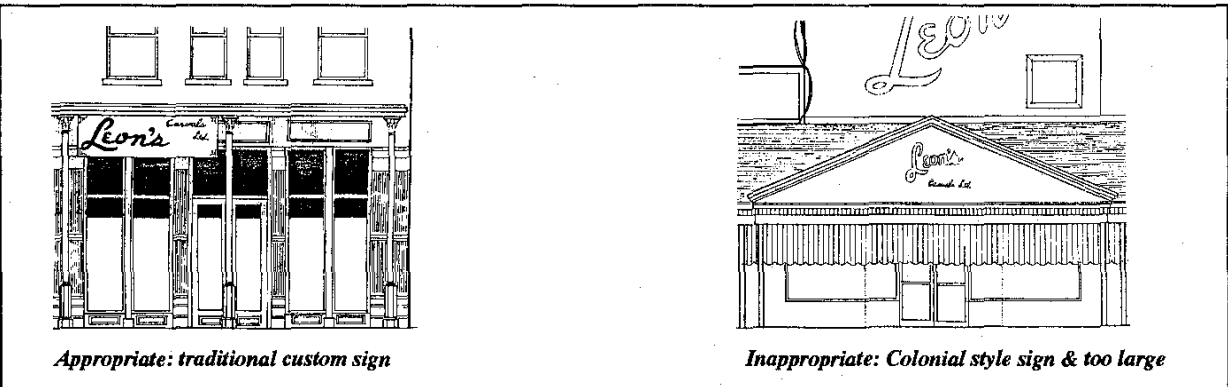
TYPES: A variety of signs may adorn a building. Awning signs and small facade sign panels can attract the attention of passing motorists or pedestrians across the street. Signs painted on storefront windows and doors attract the attention of pedestrians. Hanging signs should be attached so that they do not damage the wall surface. Attach signs through joints in the masonry rather than to the brick itself. Moveable or portable signs are not appropriate. Sandwich Boards measuring up to 24” wide by 36” tall may be approved by staff and must be of an A-frame design. The use of painted wood signs is encouraged and the use of metal and plastic signs are discouraged. One sandwich sign per building is permitted, though buildings housing multiple businesses may share a slightly larger, 24” wide by 48” sign. (Updated 08/12/14)

SIZE: Size should be determined by the scale of the building, not whether the sign is meant to be viewed by a passing motorist or pedestrian. Generally, lettering should not exceed 18 inches high. The maximum area of any sign in a historic commercial district shall be limited to twenty-four (24) square feet, and in the Gateway Corridor (Geneva St, 10th St, Torbert Ave, 2nd Ave) shall be limited to forty-eight (48) square feet, unless acceptable documentation proves that original signage from the date of construction of the building or the most significant architectural renovation of the building was larger.



MATERIALS: Sign materials should be compatible with those of the historic building. Traditional signs were often painted on finished wood or metal panels. Signs painted onto fabric awnings are effective. Unfinished plywood and plastic signs may not be appropriate in the downtown.

DESIGN: New signs should not attempt to look older than the building. Colonial designs are not appropriate on Victorian buildings. Custom signs are preferable to mass-produced standardized signs. Simple designs which are subordinate to the building are appropriate. Where several businesses occupy a building, it is best to coordinate the signs. The use of symbolic, three-dimensional signs, such as the red and white barbers’ pole, is encouraged.



LIGHTING: The sign should be illuminated to fit the design of the building. The color and intensity of illumination are central to achieving a complimentary balance of the building and signs. Light intensity should not overpower the building or street edge. Sign lighting should be subdued or indirect. Internally

lit (*including digital*) plastic signs are not appropriate, although, in some cases, neon signs may be appropriate. Neon lighting should be used in limited volume to ensure that it does not become visually

obtrusive and dominate the street frontage. Incandescent lights are preferable to the harsh, cold appearance of fluorescent lights. Flashing lights are not appropriate. (updated 08/12/14)

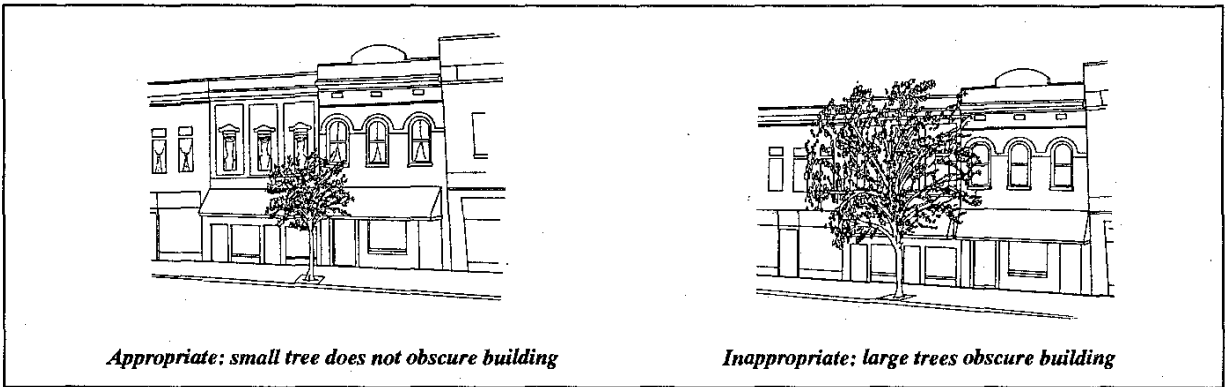
HISTORIC SIGNS: Retain historic signs whenever possible. (See Preservation Brief #25.) Preserve signs that: reflect the history of a building or district; are characteristic of a particular historic period or style; are associated with events, people, or places; are evidence of the history of a product or business; display excellent craftsmanship, use of materials, or design; are incorporated into the buildings design or physical fabric. *Photo evidence of previous sign design and/or style is encouraged. (Updated 08/12/14).*

LANDSCAPE - #24

Use traditional frees and plants which unify the district and do not obscure the buildings.

PLANTING MATERIALS: New trees should be similar to varieties already planted. Trees with limited height and dimensions which do not completely mask signs and buildings are recommended. Low maintenance, drought resistant native varieties are more appropriate than ubiquitous Bradford Pear trees. Where overhead power lines are present, plant materials should “crown out” beneath the power lines. Shrubs and small trees which do not obscure the buildings as they grow are preferred. Potted trees, plants, and flowers are acceptable but should not impede pedestrian traffic and should be maintained.

MAINTENANCE: Maintenance of street plantings is very important. Replace and remove dead, dying or poorly maintained plants. Prune mature trees which obscure signs. Water and mulch plants regularly.

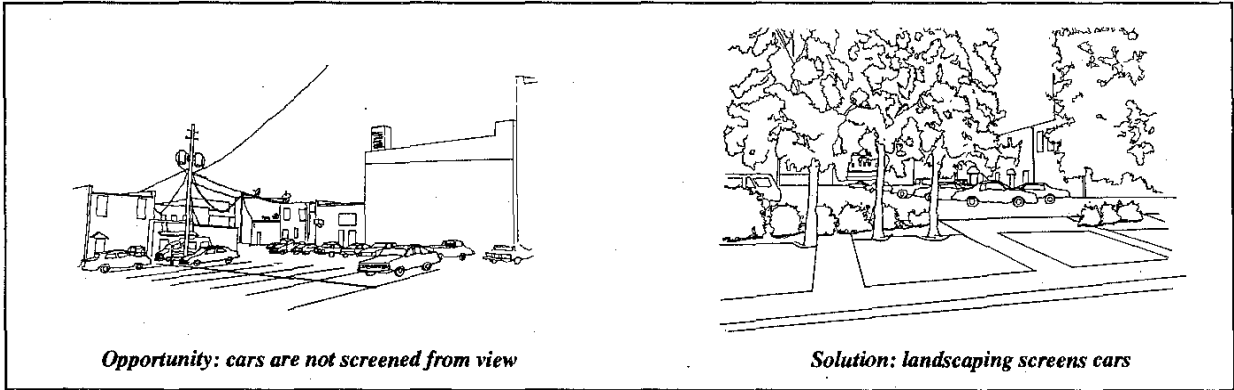


PARKING - #20.

Parking lots should be screened from public view.

LOCATION: Off—street parking should be located behind, or to the side of, commercial structures, not in front of the building. If a parking lot fronts the street, it should maintain that blocks’ established setback through the alignment of landscape elements with the facades of buildings.

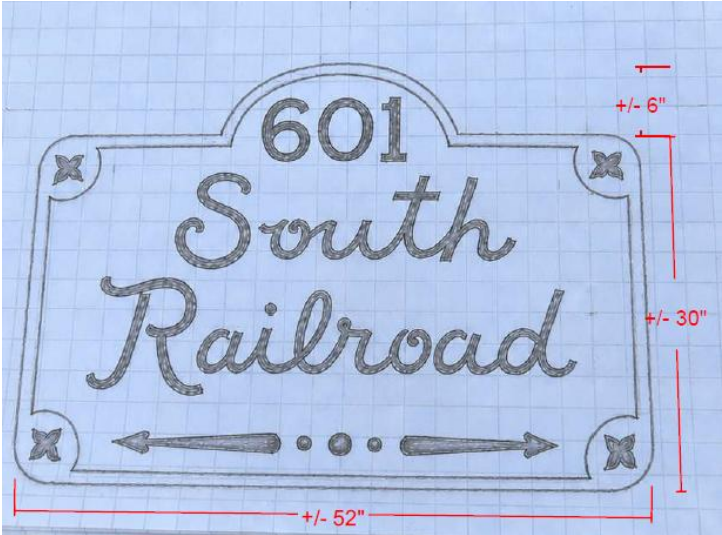
DESIGN: Parking lots should be screened from public view either by a wall or by landscaping that is only high enough to screen cars. Parking lots with a large capacity should consider landscaped islands with trees to divide the lot into small areas so that the visual impact of a large, paved area is reduced. The front of a multistory parking deck should be compatible with building facades in the block and have street level retail or office space.



Photo’s:



Existing pole in front of building



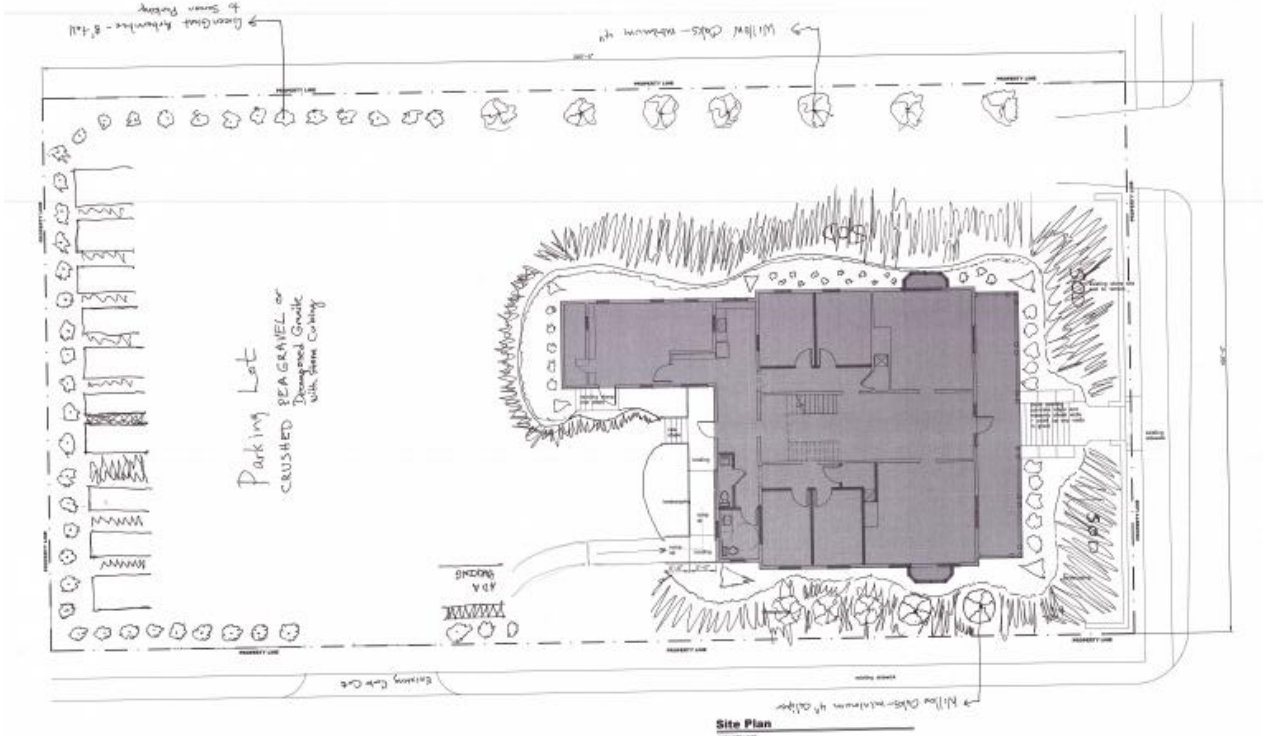
Wood sign with raised wood lettering



Right side with driveway



Rear lot



Graveled parking lot with (10) rear parking spots and (1) ADA parking pad. Landscaping includes 4” caliper Willow Oak trees, 8ft Green Giant Arborvitae along the side and rear yard and a variety of shrubs and plantings.

Staff recommendation:

1. Staff recommends approval of wood sign on existing pole meeting sign regulations.
2. Staff recommends approval of gravel parking with 4” caliper trees and/or shrubs for screening along 6th Street bridge ramp.
3. Parking and landscape are contingent upon the Planning Department approval.