

AGENDA

CITY OF OPELIKA HISTORIC PRESERVATION COMMISSION

August 11, 2022

4:30 p.m.

Meeting Chambers at Opelika Municipal Courtroom
300 MLK Boulevard

Call to Order

Approve July 21, 2022 Minutes

Public Comment/Citizen Communication

Old Business

New Business

1. 805 S. Railroad Ave: Downtown Historic District
COA: Add 3’x25’ Flat Metal and Wood Awning
Owner: Crawford Willis Group
2. 402 S. 9th St: Downtown Historic District
COA: Metal and Glass Garage Doors; Replace Roof
Owner: Kurt Hayley
3. 704 Ave D: Geneva Historic District
COA: Wood Privacy Fence
Owner: Deke Hilyer
4. 108 S. 8th St: Downtown Historic District
COA: 3’x24’ Flat Metal Awning; Gooseneck Lighting; Signage
Owner: Opelika Main Street
5. 710 Ave E: Geneva Historic District
COA: New Residential Construction
Applicant: Compass Construction
- ~~6. 807 Geneva St: Geneva Historic District
COA: Replace Siding and Demo Garage/Greenhouse
Owner: Katy Doss~~
7. 400 N. 8th St: Northside Historic District
COA: Removal of Tree
Owner: Rush Denson

Other Business

8. Enforcement Report
9. Staff Report
9. Next meeting August 11, 2022
10. Adjournment

NOTE: The City of Opelika complies with the Americans with Disabilities Act and meeting facilities are accessible. If you need special assistance, please call the City's ADA Coordinator, at 334-705-2083.



HISTORIC PRESERVATION COMMISSION MINUTES

300 Martin Luther King Blvd.

July 21, 2022

TIME: 4:30 PM

1. CALL TO ORDER

Staff member, Lisa Thrift, called the meeting to order at 4:35 p.m.

1.

2. APPROVAL OF MINUTES

A motion was made by Debbie Purves to approve the June 9, 2022 minutes. The motion was seconded by Linda Lanz. All approved.

2. Approve June 9, 2022 minutes

3. CITIZEN COMMUNICATIONS

(Limit comments to five minutes or less)

There were no citizen comments

4. OLD BUSINESS

There was no old business to discuss.

5. NEW BUSINESS

3. 314 N. 9th St: Northside Historic District

COA: Replace glass in windows, Replace rear door with window: Enclose side porch

Owner: Ian Baas

Agenda Item #: 1

Meeting Date: 07/21/2022

Action Requested: COA: Replace glass in windows; Replace rear door with

Window; Enclose side porch

Location of Property: 314 N. 9th St; Northside Historic District

Petitioner: Ian Bass

Resources:

Circa 1920; Once and a half story, wood frame pyramidal roof cottage with roof of asphalt shingles, decorative gables with arched lights, weatherboard siding, central wood door, flanking double hung sash windows, full width porch with hip roof, slender colonettes on brick bases, open rail balustrade. Contributing Resource.

Proposal: The petitioner requests a COA for the following:

1. Add double pane glass to all exterior windows, except curved bay windows on the west-facing wall. Original wooden frames will be retained throughout.
1. Remove an old non-functioning door (red) on the back porch (South wall) and adding triple windows in that location. Windows will be framed in wood to match the existing window frames and muntin's found only on the back half of the house. Siding in that location will be redone with clapboard wood siding with a 4.5" reveal to match the existing exterior of the house.
2. Building out over existing side porch to increase interior space. A wrap-around transom window is to be added to the North & East facing walls. Windows will be framed in wood to match existing exterior windows. This will replicate the wrap-around transom windows of 414 N. 10th St. Siding will be clapboard wood with 4.5" reveal to match the existing exterior of the house.

Proposed Guidelines:

5. Windows:

- a. Retain and repair existing windows including window sash, glass, lintels, sills, architraves, shutters, pediments, hoods and hardware. If new sashes are used, duplicate the original material, design, size and hardware of the original window. Do not change window size, sash size or windowpane size.
- b. Do not introduce or create new window openings into the front principal elevation of the structure and do not enlarge or reduce original window openings to fit new stock window sizes.
- c. The original number and arrangement of panes should be maintained.
- d. Storm windows should be visually unobtrusive and should not damage existing window frames. Storm windows should be designed so that they can be removed in the future without damage to the original fabric of the structure. Storm windows should be compatible in color and design with the original windows. For example, mill finished aluminum storm windows should not be used with painted window sash.

- e. Plastic, canvas or metal strip awnings or fake shutters that are not compatible with the architectural style of the structure should not be used.
- f. Where existing shutters are replaced or reinstalled when missing, the new shutters shall be sized to fit the window opening, in height and width, whether the shutters are fixed or operable. Composite materials are allowable for shutters so long as they duplicate the original in shape and texture.
- g. New window openings should not be introduced unless they match the existing window configuration and their placement harmonized with the existing rhythm of openings.
- h. Original windows should not be filled in.

6. Doors:

- a. The original size and shape of door openings should be maintained. Original doors and door hardware should be repaired and reused in place. Original transoms, sidelights and doors should be maintained.
- b. Replacement doors when necessary, should be compatible with the original doors in terms of style, texture and size.
- c. Shiny aluminum storm doors and screen doors are not appropriate. Full view storm doors painted to match the door are appropriate.
- d. New door openings should not be introduced on the front, principal façade of the structure.
- e. Original door openings should not be filled in.

The following items DO NOT require a COA:

- Re-glazing of windows or replacing broken panes of glass
- Repairs to original wood windows and doors when there is no change in appearance and material
- Painting of window frames and sashes
- Installation of full view (glazed) storm windows and doors – either wood or aluminum with baked enamel or painted finish are acceptable

The following commonly requested projects require a COA:

- Replacement of original windows
- Removal or addition of a window or door opening
- Exposing a previously covered window units with a replacement according to the guidelines

7. Entrances, Porches and Steps:

- a. Porches and steps that are appropriate to the building and its development should be retained. Porches or additions that reflect later architectural styles are often important to the building's historical integrity and wherever possible, should be retained.
- b. Original material and architectural features, such as handrails, balusters, columns, brackets and roof decoration shall be preserved. Where necessary to replace deteriorated pieces, the new material should match the original in texture, shape, size and color.
- c. Original details and shape, outline, roof height and roof pitch should be retained.
- d. Enclosing of front porches is inappropriate if done in a manner that destroys their intended appearance.
- e. The enclosing of side and rear porches may be considered appropriate if the visual openness and character of the original porch is maintained.

The following items DO NOT require a COA:

- Minor repairs to materials and features when repaired to match the original
- Porch flooring and ceilings, trim boards, railings, brackets, etc.

The following commonly requested projects require a COA:

- Removal or addition of porches
- Screening of side porches according to guidelines (staff approval)
- Screening of front porches according to guidelines (commission approval)
- Enclosure of porches

Staff recommendation:

1. Staff recommends approval of replacement of glass with double pane glass, retaining original wood frames, and same muntin configurations with true divided lite.
2. Staff recommends approval of removal of non-functioning door and replacement of window. However, guidelines restrict increasing the size of the opening. This should remain a single window with transom instead of expanding to a triple window. Wood clapboard siding with 4.5" reveal is acceptable.

3. Staff recommends approval of enclosing side porch and wrap-around transom windows to allow for new bath space. Wood clapboard siding with 4.5" reveal is acceptable.

Discussion:

Staff introduced items for discussion with description of the project, photos of the site, renderings, and staff recommendations.

Mark Grantham stated that the back of the house is not original. The guidelines state that changes are not to be made to the first floor street side. These changes will be made to the back side. It says the rhythm of windows should be proper. If you go up 9th Street, the house directly behind them has single, double, and triple windows. So the rhythm of windows on houses throughout the neighborhood. I make the motion that would allow them to do what they're asking based on those three things. The back of the house was an apartment at one time. The previous owner enclosed the breakfast room, which is what you see as the kitchen area now and actually used to be the back porch of the house. He and Emily added the porch across the back. Again, they are not altering anything that is original to the house.

Debbie Purves stated that she does think whether it's original to the house matters so much. It's connected to the house and it is in the historic district. The guidelines should be followed. Mark Grantham answered that the rules say original, change the original doors and windows. These doors and windows are not original in the back of the house. The guidelines also talk about not doing anything to the front side on the first floor. This is on the backside. Debbie Purves asked to see examples of the windows the applicant would be installing. The rendering looks very mid-century or could be Craftsman style. Staff stated that specs for the windows had not been provided. Mark Grantham asked if the staff could approve the windows so that construction is not delayed. Mrs. Thrift stated that if the Commission will set the parameters, she would be able to review the specs and provide Staff approval. They are keeping the original wood frames. The new window will need to have the same kind of moulding or framing, consistent with the rest of the house.

A motion was made by Mark Grantham to approve. All windows should have wood framing and window trim should be consistent in style and framing to match all existing windows. The motion was seconded by Linda Lanz. All approved.

4. 104 N. 9th St: Downtown Historic District
COA: Remove multiple trees
Owner: Ken Pylant

Agenda Item #:	2
Meeting Date:	07/21/2022
Action Requested:	COA: Remove three (6) trees
Location of Property:	104 N. 9th St; Downtown Historic District
Petitioner:	Ken Pylant III/Pyson, LLC

Resources:

This property is located in the Downtown Historic District but is not on the National Register of Historic Places.

Proposal: The petitioner requests a COA for the following:

1. Removal of front left water oak with extensive decay, removal of front right double stemmed water oak with internal decay, and removal of three (3) large oaks in rear yard with trunk decay. All are endangering property (house).
1. Removal of pecan tree in order to expand drive for commercial usage.

Proposed Guidelines:**A. THE ENVIRONMENT:**

1. The environment consists of all exterior features in the designated historic districts which are visible to the public and includes structures, outbuildings, landscaping, streets, appurtenances, trees, mass and spacing between structures, scale, mass, color and materials of buildings that give a neighborhood its distinguishing character and contributes to its historic district designation.
2. Significant landscape features such as public parks and gardens, street lighting, signs, street benches, sidewalks, streets, alleys and building setbacks that have traditionally been maintained in the historic district and that contribute to its historic character should be retained. Existing streets should not be widened. paving material should not be changed to a different texture and color. Inappropriate new streets or parking lots incompatible with the neighborhood should not be constructed. (*updated 08/12/14*)
3. New plant materials, fencing, walkways, housing and other outdoor lights, signs, benches, etc. should be compatible with the character of the neighborhood in size, scale, material and color.
4. Plant material should be maintained so as not to become a hazard to the public, public property or shall not be allowed to cause deterioration to structures.
5. Existing street trees should not be removed without a plan for replacement. (*updated 08/12/14*)

The following items DO NOT require a COA:

- Back yard Tree house, swing sets and trampolines
- Benches and other outdoor furniture and accessories
- Sculpture and another outdoor artwork
- Pools and patios
- Tree pruning, clearing of overgrown bushes, vines, saplings, etc.
- Tree removal (less than 4" diameter at breast height or diseased).
- Planting new trees, shrubs, ground cover, etc.
- Landscape edging
- Flower, vegetable and rock gardens
- Flowerpots, planters, window boxes, birdbaths, bird houses, etc.
- Adding gravel to existing driveways
- Patching deteriorated concrete or asphalt pavement, walks, steps, etc.

The following commonly requested projects require a COA:

- Changes to stone walls and other historic site features
- New or expanded parking areas/lots
- New and expanded driveways and walkways
- Staff approval for change of materials (i.e. gravel to concrete)

Staff recommendation:

1. Staff recommends approval of removal of trees based on report provided by forester that trees are damaged and/or decayed and are a hazard to the property.
2. Applicant will be required to provide a tree replacement plan and landscape plan when parking site plan is provided.

Discussion:

Staff presented an explanation of the trees to be removed, photos, and a report from the arborist. Most of these trees are damaged and decaying, with the exception of one pecan tree. However, it is located at the right corner of the house and is obstructing the drive and ability to get to the rear of the house for parking.

Linda Lanz asked what trees would be left on the property. Staff explained that the applicant will be required to provide the Planning Department a landscape and tree replacement plan when he returns with a parking plan for his commercial business.

Matt Mosley, Planning Director, stated that this is a very short lot. The remainder of the lot is owned by the accounting firm to the south. So, it would be most of the trees on the property.

Linda Lanz asked if all commercial properties have to have trees or just landscaping. Mr. Mosley stated that every property has to have landscaping, whether it's trees or not. It's difficult to meet the requirements without putting trees on the property. The parking plan requires HPC approval as well. Staff confirmed that she has already talked to the applicant about gravel parking in the rear. He may also need some off-site parking. Rush Denson asked if we could require certain trees to be planted. Staff explained that we do have a suggested tree planting list from the arborist.

A motion was made by Rush Denson to approve with Staff recommendations. The motion was seconded by Linda Lanz. All approved.

5. 127 S. 8th St: Downtown Historic District

COA: Sign

Owner: Dorris Sign

Agenda Item #: 3

Meeting Date: 07/21/2022

Action Requested: COA: Sign

Location of Property: 127 S. 8th St; Downtown Historic District

Petitioner: Dorris Sign

Resources:

Jackie's Unique Gifts/Old Farmers National Bank: 1909; three-story brick load bearing wall construction; chamfered southeast corner; first story has new glass and metal frames in polished stone panels. Original façade at second and third floor has round arched windows with wood infill; corbelled brick belt coursing articulates top of second and third floor and parapet.

Proposal: The petitioner requests a COA for the following:

1. Install vertical metal double sided sign with push-thru plastic letters attached to wall with lags and anchors. Sign in 30" w x 20' h (51sf) including 42' circle.

Proposed Guidelines:

SIGNS #6.

Signs should complement, rather than compete with, the character of the building and downtown.

These design guidelines apply to the exterior signs within the Northside and Geneva Street Historic Preservation Districts. All signs in a historic preservation district must meet the provisions of the Opelika Zoning Ordinance as well as receive a Certificate of Appropriateness. A Certificate of Appropriateness review will determine whether

a sign proposal meets the context of these guidelines. Whenever there is a conflict between the regulations of the zoning ordinance and these guidelines, the more stringent regulations will take precedence. (*Updated 08/12/13*)

LOCATION: Signs should be designed with the historic character of the building and district in mind. The design should be compatible with the architectural features of a building or neighboring buildings and should not obscure architectural details of the building. Locate signs on flat unadorned parts of the facade or paint directly onto the glass storefront. Hanging signs should not project more than 40 inches beyond adjoining buildings or obscure the view of the streetscape. A hanging sign should be at least 8 feet off the ground. Signs should not be located on the roof. They should be aligned with others in the area in order to create a more uniform appearance. (*Updated 08/12/14*)

TYPES: A variety of signs may adorn a building. Awning signs and small facade sign panels can attract the attention of passing motorists or pedestrians across the street. Signs painted on storefront windows and doors attract the attention of pedestrians. Hanging signs should be attached so that they do not damage the wall surface. Attach signs through joints in the masonry rather than to the brick itself. Moveable or portable signs are not appropriate. Sandwich Boards measuring up to 24" wide by 36" tall may be approved by staff and must be of an A-frame design. The use of painted wood signs is encouraged and the use of metal and plastic signs are discouraged. One sandwich sign per building is permitted, though buildings housing multiple businesses may share a slightly larger, 24" wide by 48" sign. (*Updated 08/12/14*)

SIZE: Size should be determined by the scale of the building, not whether the sign is meant to be viewed by a passing motorist or pedestrian. Generally, lettering should not exceed 18 inches high. The maximum area of any sign in a historic commercial district shall be limited to twenty-four (24) square feet, and in the Gateway Corridor (Geneva St, 10th St, Torbert Ave, 2nd Ave) shall be limited to forty-eight (48) square feet, unless acceptable documentation proves that original signage from the date of construction of the building or the most significant architectural renovation of the building was larger.

Staff recommendation:

1. *Staff recommends approval of vertical sign.*

Discussion:

Staff gave a description of the sign, provided renderings, and gave staff recommendations.

Rush Denson asked if there would be any lights. Staff stated no lights would be used.

There was no further discussion.

A motion was made by Debbie Purves to approve. The motion was seconded

by Rush Denson. All approved.

6. OTHER BUSINESS

- 6. Enforcement Report
There were no new enforcement cases to review.
- 7. Staff Report
There were no new staff reports to discuss.
- 8. Next meeting DATE
- 1. Next meeting is August 11, 2022

7. ADJOURN

A motion was made by Debbie Purves to adjourn. The motion was seconded by Mark Grantham. All approved.

The meeting adjourned at 5:00 p.m.

Margaret Mayfield, Chair
Lanz, Secretary

Linda

City of Opelika
Historic Preservation Commission
Staff Report



Agenda Item #: 1
Meeting Date: 08/11/22
Action Requested: COA: Install Flat Metal and Wood Awning
Location of Property: 805 S. Railroad Ave; Downtown Historic District
Petitioner: Crawford Willis Group

Resources:

Easterday Building: c. 1880's; two-story brick load bearing wall construction; original façade at second level has large round arched central window flanked by single bay round arched windows; all windows double hung. Rusticated brick; various brick patterns; infill at second floor openings; new glass and metal storefront.

Proposal: The petitioner requests a COA for the following:

1. Add 3' x 25' awning constructed of steel and wood with slight slope. Silicone all areas. Install flashing and any necessary metal to keep water from getting behind new awning. Leger boards will be installed with structural lag bolts.
2. Remove any loose existing paint, pressure wash, silicone and caulk, remove any nails/screws, and prime and paint brick and trim (navy blue and slate gray). Clean windows.

Proposed Guidelines:

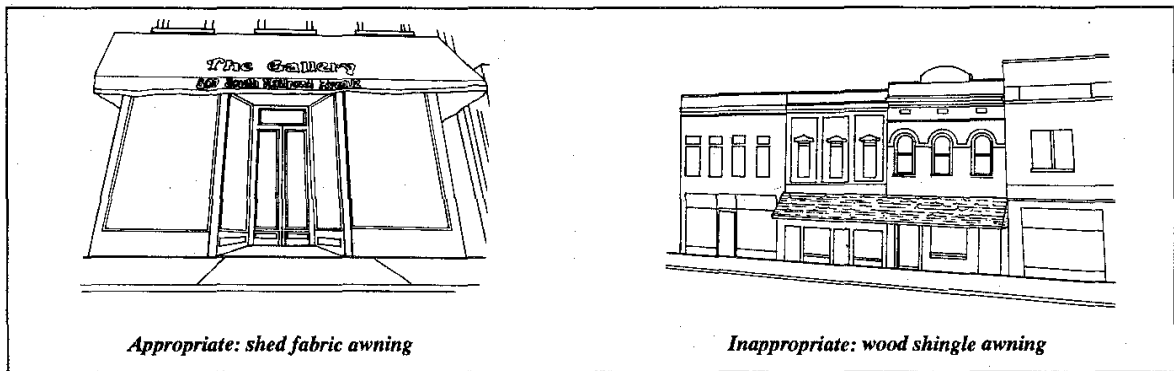
AWNINGS - #5.

Awnings should be compatible with the design of the building and the streetscape.

PRESERVATION: Preserve original canopies and awning hardware where feasible.

MATERIALS: Fabric awnings are appropriate. Vinyl coated canvas and acrylic awnings may be acceptable. Metal awnings may be appropriate in a few instances, but rough sawn wood, plastic, or asphalt shingle awnings give an immobile, hard, mansard—like appearance and are not appropriate.

DESIGN: Retractable or fixed standard shed—type canvas awnings are appropriate. Fake mansard roofs and rustic wood shingle awnings are inappropriate. Carefully coordinate the awning color with other building design features.



LOCATION: The awning should fit the dimensions of the storefront within the masonry opening and should not obscure architectural details. Mount the awning just above or just below the transom. Where feasible, align the awning so that it is the same height as others on the block. Upper story awnings should fit inside the window surround. Arched windows should have awnings shaped like the curvature of the arch, and rectangular windows should have rectangular awnings.

Photo's:



Staff recommendation:

- 1 Staff recommends approval of new metal and wood awning.
- 2 Repainting already painted brick does not require approval.

City of Opelika
Historic Preservation Commission
Staff Report



Agenda Item #: 2
Meeting Date: 08/11/22
Action Requested: COA: Install roll-up metal & glass door, Replace roof
Location of Property: 402 S. 9th St; Geneva Historic District
Petitioner: Kurt Hayley

Resources:

Amoco Station-Baker Alternator, c. 1920: One-story, enameled siding gas station, painted green in recent years.

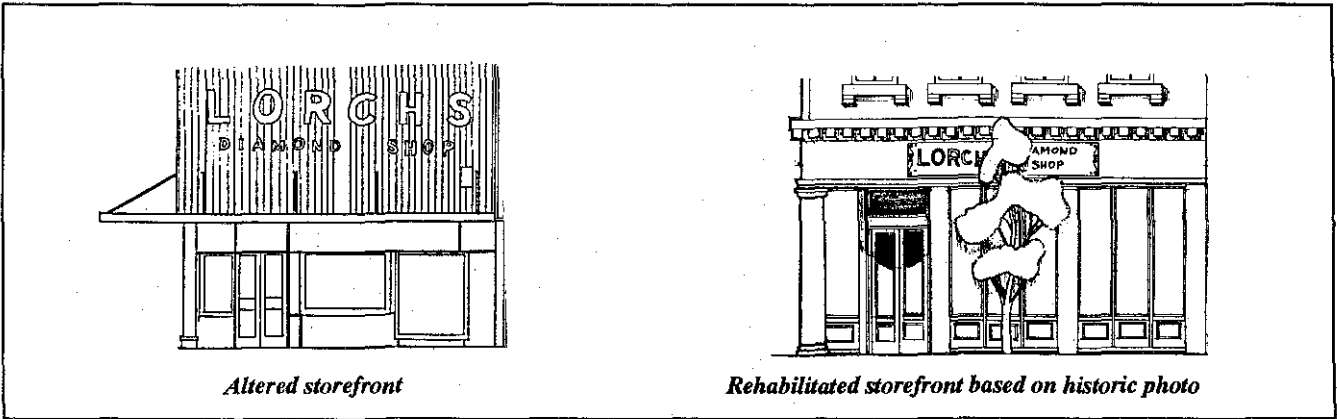
Proposal: The petitioner requests a COA for the following:

1. Replace wood garage doors with metal and glass roll-up garage doors.
2. Replace roof.
3. Exterior façade to remain the same. Front window left of front door to be continuous. Store front window similar to original (see attached photo). Metal doors to be repainted.

Guidelines:

RECONSTRUCTED STOREFRONT -#3

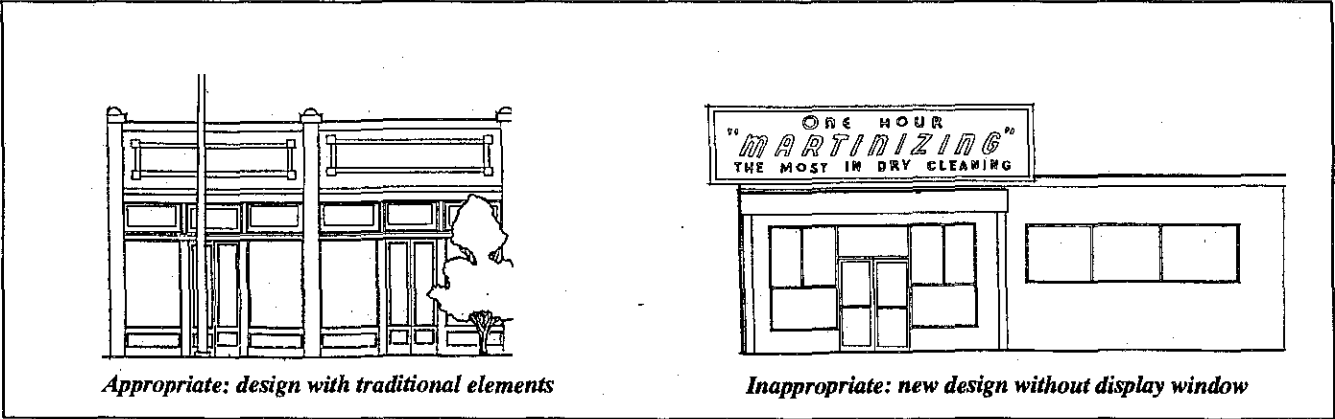
Reconstruction of a historic storefront should be based on physical evidence and historical documentation such as photographs.



RE-CONSTRUCTION: Obtain historic photographs, post cards of downtown, and historical background about the building by contacting the historical society, library, and/or state archives.
NEW STOREFRONT #4.

If documentation of the original storefront does not exist, design a new storefront that is compatible with the materials, size, scale, and character -defining features of nearby buildings.

NEW DESIGN: Respect the original design of the building and visual character of the district. Do not add early colonial features, attempt to create a theme, or make a building more ornamental than it originally was. The new design should incorporate characteristic elements of a traditional storefront, including the display window, transom, recessed entrance, and bulkhead using compatible materials. (see Preservation Brief #11)



Photo's:



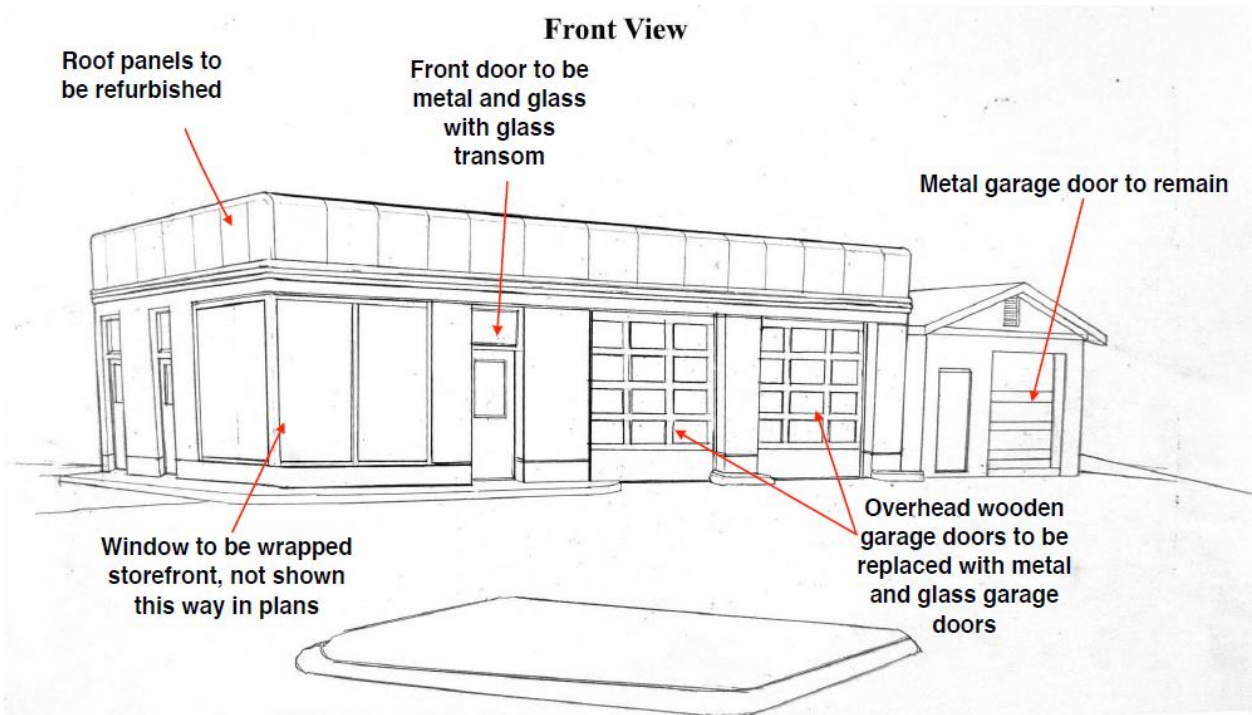
Original photo of gas station



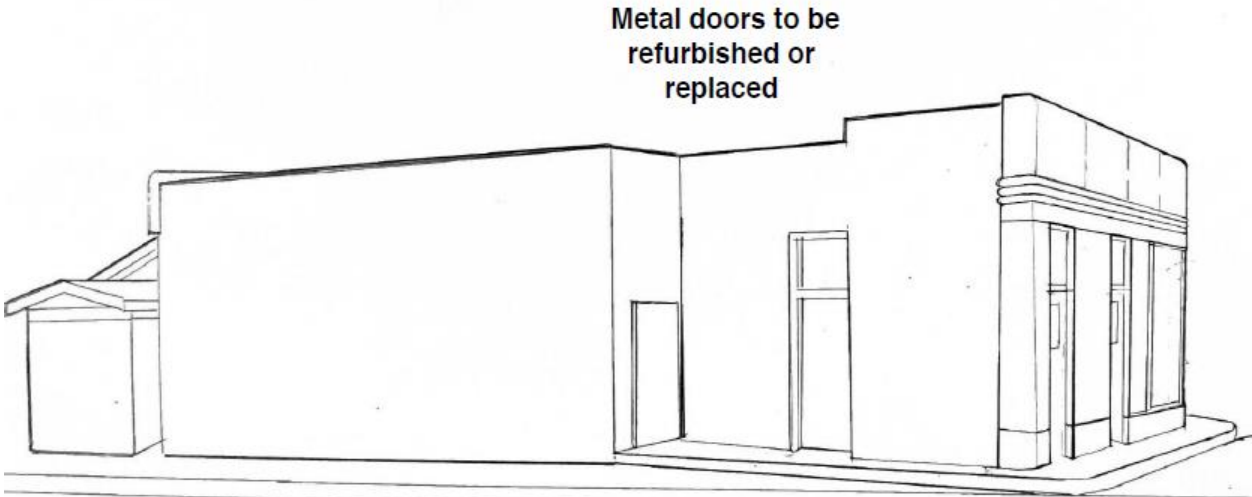
Example metal and glass roll up garage door



Aerial view



Rear View



Staff recommendation:

1. Staff recommends approval of new metal and glass roll-up garage doors proposed.
2. Staff recommends approval of roof replacement.

City of Opelika
Historic Preservation Commission
Staff Report



Agenda Item #: 3
Meeting Date: 08/11/2022
Action Requested: COA: Install Wood Privacy Fence
Location of Property: 704 Ave D; Geneva Historic District
Petitioner: CJCF, LLC

Resources:

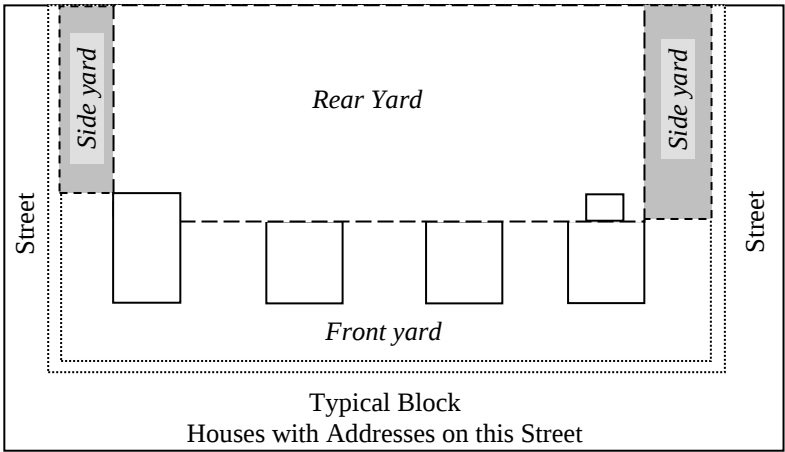
McCall House. Circa 1915. One story, frame, pyramidal roof with front offset porch, brick columns, triple window. Contributing structure.

Proposal: The petitioner requests a COA for the following:

- 1. Install 8 ft. cedar or pine privacy fence around perimeter of parking lot to match adjoining property. Fence will extend behind 708 and 704 Ave D and 406 S. 7th Street.

Proposed Guidelines:

- b. Fences:
The size, scale, and transparent quality of the fence shall be considered in the design to minimize the impact on the historic fabric on the neighborhood. The orientation and location of the fence shall also be considered, with the structural members located on the interior of the fence (pretty side out) and the location and size such that it does not block views of the buildings from the street.



Front, side and rear yard area will be determined on a case by case basis from a site plan showing the footprint of house and proposed fence, due to the variety of lot and building shapes. Generally speaking, the front yard is the portion of lot between the street and the rear edge of the building; the side yard is the portion of lot behind the house, between the sidewalk and the rear corner of the building, on corner lots; and the rear yard is the

portion of lot behind house. Staff approval may be granted for fences that clearly fall within the guideline specifications; particularly those pertaining to staff permissible-materials and fence heights.

1. Low retaining walls in front and side yards should be kept where they exist. If new retaining walls are required, they should match the existing or match a documented example correct for the period of the structure.
2. Existing period fencing should be maintained and repaired. Where necessary to replace period fencing, it should be replaced with compatible fencing of the same material, size and appropriate design.
3. Materials:
Where a fence is desired to be installed, it should be appropriate for the period and architectural style of the structure. Materials and size of the fence should be documented as correct for the period of the structure.
 - i. Appropriate materials: wood, iron, wire, stone or plants.
 - ii. Inappropriate materials: chain link, concrete block, unfaced concrete, plastic, fiberglass, plywood, slatted "snow" fences and mesh "construction" fences
 - iii. Chain link fences may be used in rear yards, if visible from the street, shall be camouflaged with vegetation.
 - iv. Staff approved fences are limited to wood dog ear and open gothic fences as pictured below. Other styles or materials require formal Commission approval.
4. Heights:
Generally, low fences should be used at the fronts and visible street side yards near public sidewalks. Taller fences and solid walls may be used in rear yards and side yards when set back from the sidewalk.
 - i. front yard fences should not be taller than 4 feet. A height of up to 6 feet is permitted only if set back at least 1/3 the structure's length or 1/3 the adjacent structure's length, whichever is furthest from the street. Measurement should be taken from the structures' respective facades.
 - ii. side yard fences should not be taller than 6 feet
 - iii. rear yard fences should not be taller than 8 feetRequests for new fences must have a site plan, with proposed fence heights clearly marked.

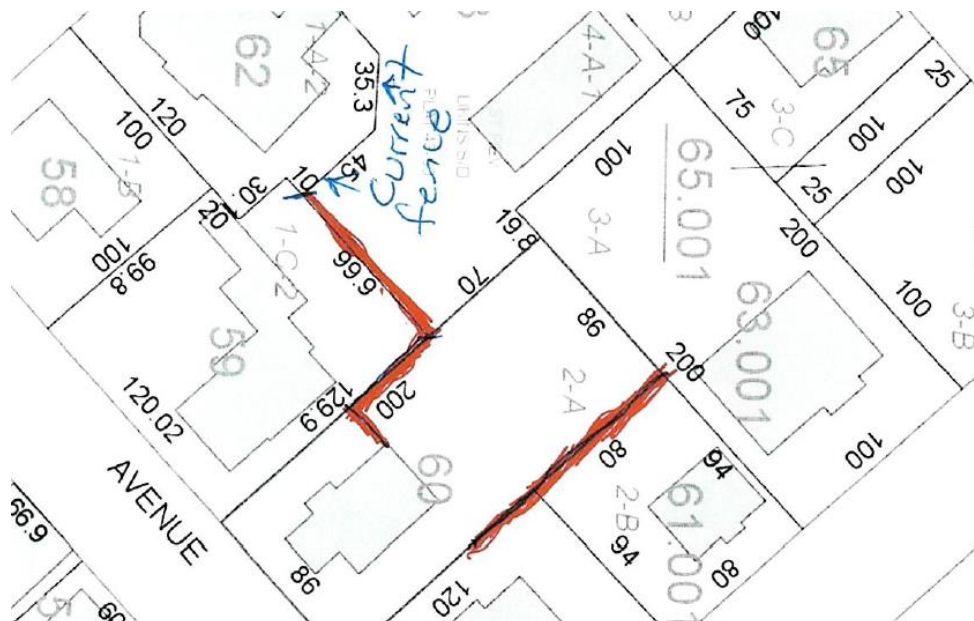
The following items DO NOT require a COA:

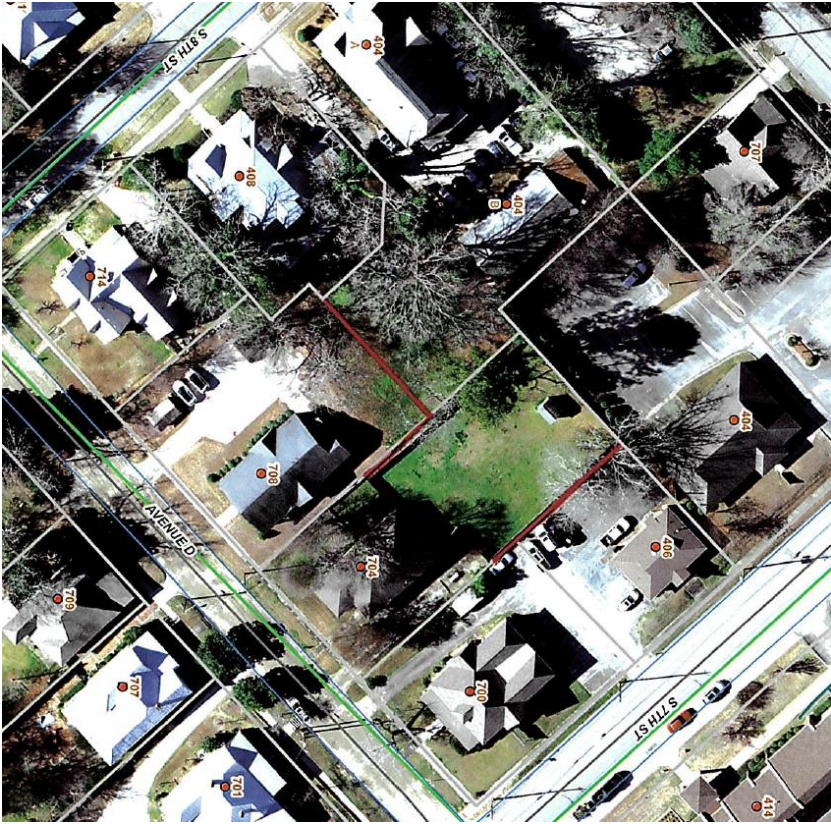
- Repairs to existing walls and fences and other historic site features
- Wood dog ear and wood open gothic fences that clearly fall within the setback and height requirements (staff approval)

The following commonly requested projects require a COA:

- Changes to stone walls and other historic site features
- All new fences and walls

Photo's:





Aerial view



Wood fence to match adjoining Bushy property

Staff recommendation:

1. Staff recommends approval of privacy fence. Installation of fence is contingent on approval of landscape plan for parking area by the Planning Department.

City of Opelika
Historic Preservation Commission
Staff Report



Agenda Item #: 4
Meeting Date: 08/11/22
Action Requested: COA: Install Flat Metal Awning; Gooseneck Lighting; Signage
Location of Property: 108 S. 8th St; Downtown Historic District
Petitioner: Opelika Main St

Resources:

M.R. Brasher & Co.: Late 19th c.; two-story brick load bearing wall construction has original rusticated and smooth brick façade at second level; pilasters and corbelling at upper level; new glass and metal frames. Metal sheathing above pedestrian level.

Proposal: The petitioner requests a COA for the following:

1. Install flat 3’deep x 24’ long pre-finished metal canopy with rods.
2. Install 2-3 gooseneck lights.
3. Install one 2’H x 10’W metal sign and 6”H x 30’W aluminum lettering for signage totaling 35sf.

Proposed Guidelines:

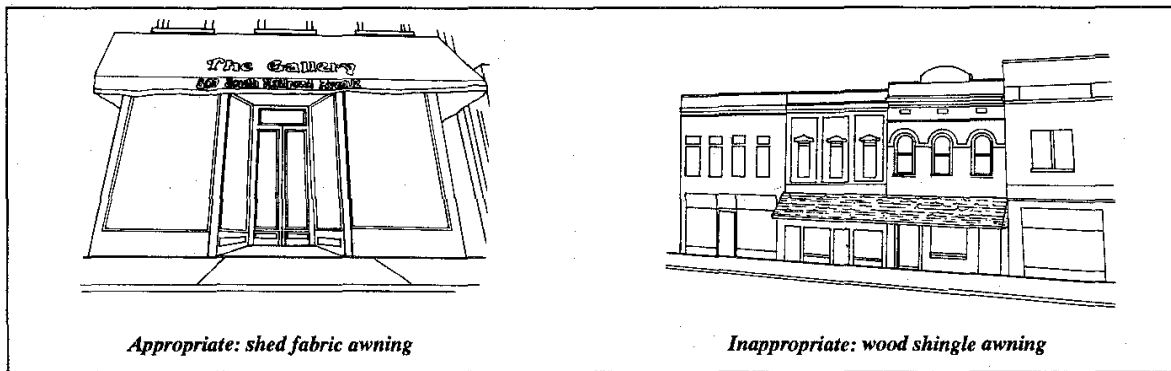
AWNINGS - #5.

Awnings should be compatible with the design of the building and the streetscape.

PRESERVATION: Preserve original canopies and awning hardware where feasible.

MATERIALS: Fabric awnings are appropriate. Vinyl coated canvas and acrylic awnings may be acceptable. Metal awnings may be appropriate in a few instances, but rough sawn wood, plastic, or asphalt shingle awnings give an immobile, hard, mansard—like appearance and are not appropriate.

DESIGN: Retractable or fixed standard shed—type canvas awnings are appropriate. Fake mansard roofs and rustic wood shingle awnings are inappropriate. Carefully coordinate the awning color with other building design features.



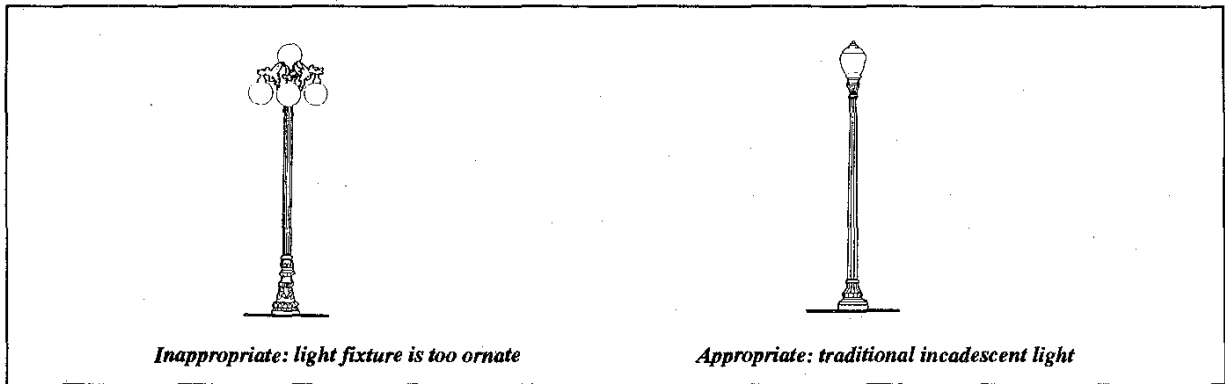
LOCATION: The awning should fit the dimensions of the storefront within the masonry opening and should not obscure architectural details. Mount the awning just above or just below the transom. Where feasible, align the awning so that it is the same height as others on the block. Upper story awnings should fit inside the window surround. Arched windows should have awnings shaped like the curvature of the arch, and rectangular windows should have rectangular awnings.

LIGHTING - #21.

Use light fixtures to unify the streetscape and accent the buildings at night.

STYLE: Period Street lighting, such as free—standing lamp posts, is presently available in several styles and forms. Traditional or modern designs are appropriate and ornate designs may be appropriate if they are based on documentation. Fake looking “colonial” lamp posts are not appropriate for most historic commercial areas.

TYPE: Incandescent, gas lighting, and vapor lighting are appropriate. Harsh cold florescent lighting should be avoided.

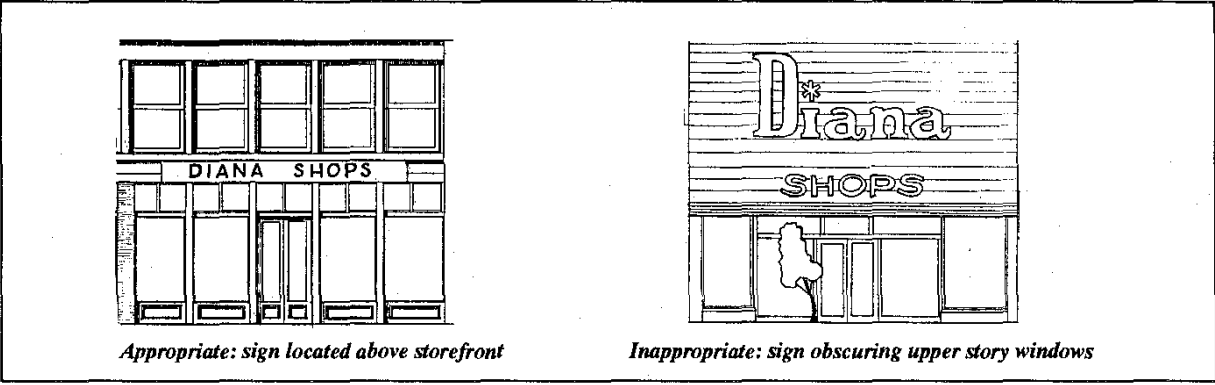


SIGNS #6.

Signs should complement, rather than compete with, the character of the building and downtown.

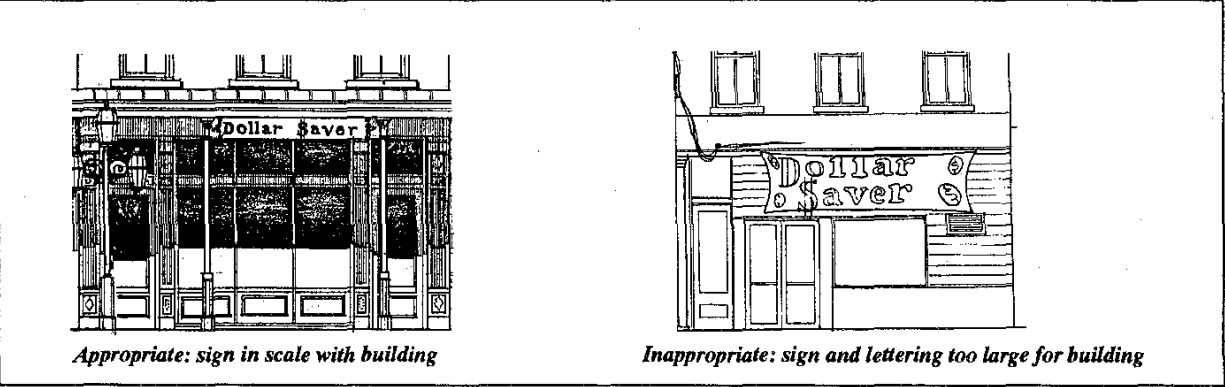
These design guidelines apply to the exterior signs within the Northside and Geneva Street Historic Preservation Districts. All signs in a historic preservation district must meet the provisions of the Opelika Zoning Ordinance as well as receive a Certificate of Appropriateness. A Certificate of Appropriateness review will determine whether a sign proposal meets the context of these guidelines. Whenever there is a conflict between the regulations of the zoning ordinance and these guidelines, the more stringent regulations will take precedence. (Updated 08/12/13)

LOCATION: Signs should be designed with the historic character of the building and district in mind. The design should be compatible with the architectural features of a building or neighboring buildings and should not obscure architectural details of the building. Locate signs on flat unadorned parts of the facade or paint directly onto the glass storefront. Hanging signs should not project more than 40 inches beyond adjoining buildings or obscure the view of the streetscape. A hanging sign should be at least 8 feet off the ground. Signs should not be located on the roof. They should be aligned with others in the area in order to create a more uniform appearance. (Updated 08/12/14)



TYPES: A variety of signs may adorn a building. Awning signs and small facade sign panels can attract the attention of passing motorists or pedestrians across the street. Signs painted on storefront windows and doors attract the attention of pedestrians. Hanging signs should be attached so that they do not damage the wall surface. Attach signs through joints in the masonry rather than to the brick itself. Moveable or portable signs are not appropriate. Sandwich Boards measuring up to 24” wide by 36” tall may be approved by staff and must be of an A-frame design. The use of painted wood signs is encouraged and the use of metal and plastic signs are discouraged. One sandwich sign per building is permitted, though buildings housing multiple businesses may share a slightly larger, 24” wide by 48” sign. (Updated 08/12/14)

SIZE: Size should be determined by the scale of the building, not whether the sign is meant to be viewed by a passing motorist or pedestrian. Generally, lettering should not exceed 18 inches high. The maximum area of any sign in a historic commercial district shall be limited to twenty-four (24) square feet, and in the Gateway Corridor (Geneva St, 10th St, Torbert Ave, 2nd Ave) shall be limited to forty-eight (48) square feet, unless acceptable documentation proves that original signage from the date of construction of the building or the most significant architectural renovation of the building was larger.

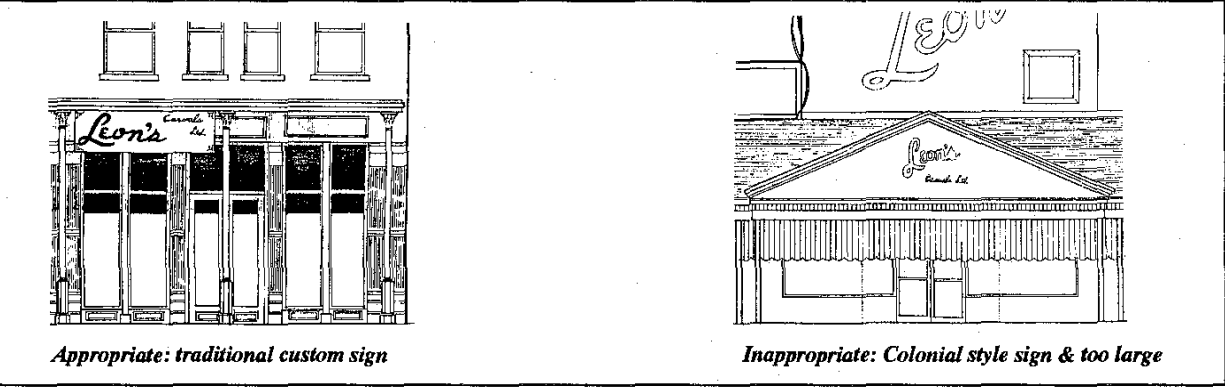


ALABAMA MAIN STREET DESIGN GUIDELINES: REHABILITATION

SIGNS *cont.*

MATERIALS: Sign materials should be compatible with those of the historic building. Traditional signs were often painted on finished wood or metal panels. Signs painted onto fabric awnings are effective. Unfinished plywood and plastic signs may not be appropriate in the downtown.

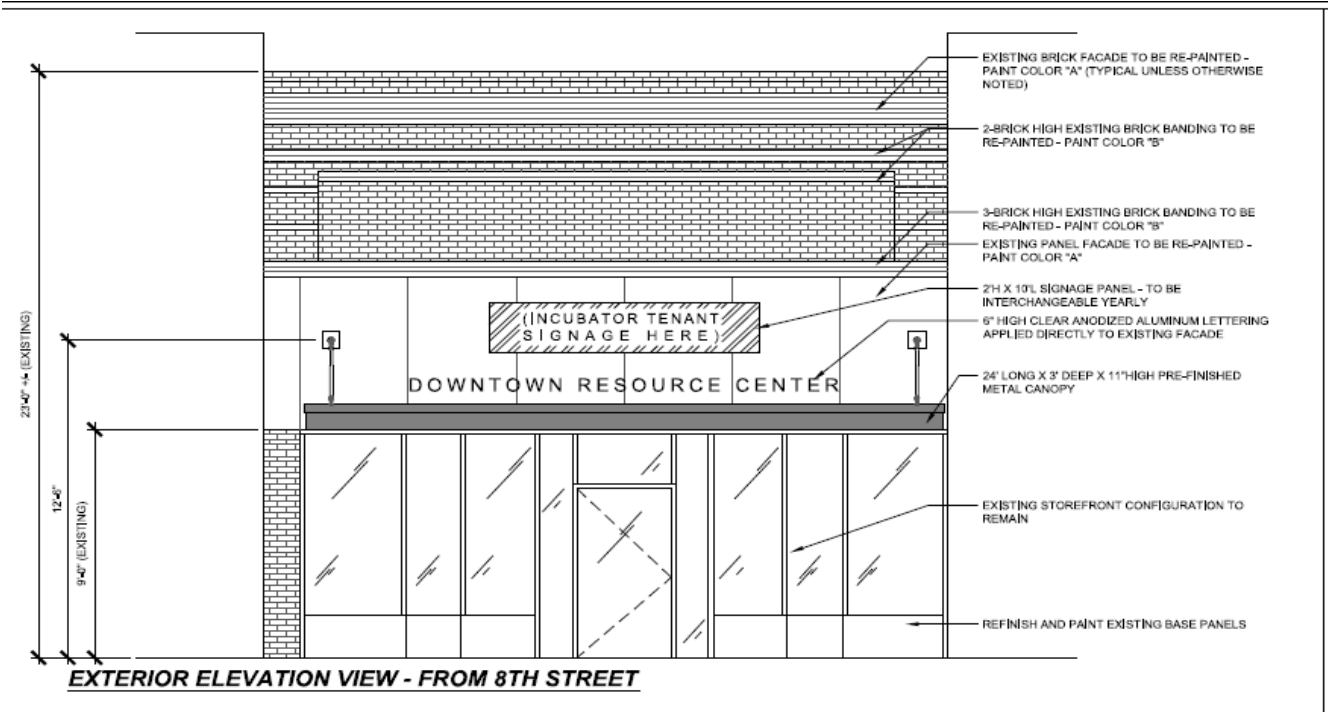
DESIGN: New signs should not attempt to look older than the building. Colonial designs are not appropriate on Victorian buildings. Custom signs are preferable to mass-produced standardized signs. Simple designs which are subordinate to the building are appropriate. Where several businesses occupy a building, it is best to coordinate the signs. The use of symbolic, three-dimensional signs, such as the red and white barbers’ pole, is encouraged.



LIGHTING: The sign should be illuminated to fit the design of the building. The color and intensity of illumination are central to achieving a complimentary balance of the building and signs. Light intensity should not overpower the building or street edge. Sign lighting should be subdued or indirect. Internally lit (*including digital*) plastic signs are not appropriate, although, in some cases, neon signs may be appropriate. Neon lighting should be used in limited volume to ensure that it does not become visually obtrusive and dominate the street frontage. Incandescent lights are preferable to the harsh, cold appearance of fluorescent lights. Flashing lights are not appropriate. (*updated 08/12/14*)

HISTORIC SIGNS: Retain historic signs whenever possible. (See Preservation Brief #25.) Preserve signs that: reflect the history of a building or district; are characteristic of a particular historic period or style; are associated with events, people, or places; are evidence of the history of a product or business; display excellent craftsmanship, use of materials, or design; are incorporated into the buildings design or physical fabric. *Photo evidence of previous sign design and/or style is encouraged. (Updated 08/12/14).*

Photo’s:



- Existing brick façade to be re-painted-paint color Hale Navy
- 2-brick high existing brick handing to be re-pinted Providence Olive
- 3-brick high existing brick banding to be painted Providence Olive
- Existing panel façade to be re-painted Hale Navy
- 2’H x 10’L signage panel to be interchangeable yearly
- 6’H aluminum lettering applied directly to existing façade
- 24’L x 3’D x 11”H pre-finished metal canopy
- Existing storefront configuration to remain
- Refinish and paint existing base panels





Sample gooseneck lighting

Staff recommendation:

- 1 Staff recommends approval of flat metal awning with rods.
- 2 Staff recommends approval of gooseneck lighting.
- 3 Staff recommends approval of façade sign. However, Staff does recommend that each year new interchangeable sign is submitted for Staff approval. Staff recommends approval of aluminum lettering signage. All signage meets the required square footage allowance.

City of Opelika
Historic Preservation Commission
Staff Report



Agenda Item #: 5
Meeting Date: 08/11/2022
Action Requested: COA: New Construction; preliminary review
Location of Property: **710 Ave E; Geneva Historic District**
Petitioner: Compass Construction

Resources:

Vacant lot located in the Geneva Historic District.

Proposal: The petitioner requests a COA for the following:

1. New construction single family residence, approximately 3500sf. The house configuration is a courtyard, two levels with side entry two car garage to the east.
2. The form of the house is elevated on a brick plinth with the major material being stucco with various volumetric relief to break down the form. The entrance produces a recessed porch and breaks down the house into three volumes from the front/south façade to reflect the interior organization/wings of the courtyard.

Guidelines:

G. NEW CONSTRUCTION:

1. Definition: The construction of any free-standing structure on any lot or addition to an existing structure.
2. General Principles:
 - a. These guidelines shall apply only to the exteriors of buildings and to areas of lots visible from public right-of-way.
 - b. The public facades, front and street-related elevations, of proposals for new buildings shall be more carefully reviewed than other facades.
 - c. New buildings should be compatible with other architectural styles in the historic district but are not required to imitate the past architectural styles of the historic district. They should reflect the era of their own construction.
 - d. Since construction in a historic district has usually taken place continuously from the nineteenth century to the present, a variety of building types and styles result which demonstrate the changes in building tastes and technology over the years. The special architectural character of the majority of the buildings in the historic district is responsible for this designation and new buildings should complement and be compatible with the prevailing architectural styles of other buildings in the historic district.
 - e. Reconstruction may be appropriate when it reproduces facades of a building which no longer exists and which was located in the historic district if; the building would have contributed to the historical and architectural character of the area, and if it will be compatible in terms of

style, height, scale, massing, and materials with the buildings immediately surrounding the lot on which the reproduction will be built, and if it is accurately based on pictorial documentation.

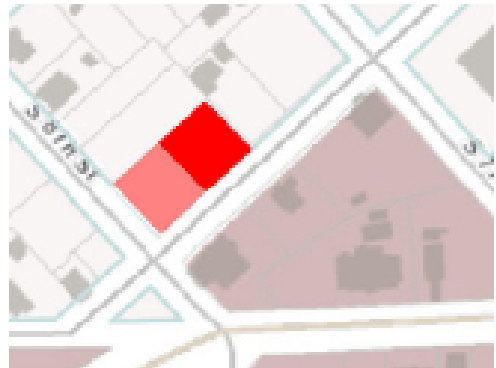
- f. New buildings should related to an established pattern and rhythm of existing contributing buildings, both on the same and opposite sides of a street, the dominance of that pattern and rhythm must be respected and not disrupted.
- g. New construction should be consistent with existing contributing buildings along a street in terms of height, scale, setback, and rhythm; relationship of materials, texture, details and color; roof shape; orientation and proportion and rhythm of openings.
 - 1. Height: New buildings should be compatible in height with the height of adjacent buildings. This shall not mean that new construction must be the same height as adjacent structures, but that new construction should be of similar heights as adjacent structures. New construction may not be over one story higher than adjacent structures or more than one story lower than adjacent structures.
 - 2. Scale: The size of a new building; its mass in relation to open spaces; its windows, doors, openings and porches should be visually compatible with the surround buildings.
 - 3. The relationship and use of materials, texture, details and material color of a new building's public facades shall be visually compatible with and similar to those of adjacent buildings or shall not contrast conspicuously.
 - 4. The roofs of new buildings shall be visually compatible, by not contrasting greatly with the roof shape and orientation of surrounding buildings.
 - 5. The setback from front and side yard property lines established by adjacent buildings must be maintained. When a definite rhythm along a street is established by uniform lot and building width, infill new buildings should maintain the rhythm.
 - 6. Orientation: The site orientation of new buildings shall be consistent with that of adjacent buildings and shall be visually compatible. Directional expression shall be compatible with surrounding buildings, whether that expression is vertical, horizontal or non-directional.
 - 7. The relationship of width to height of windows and doors, and the rhythm of solids to voids in new buildings shall be visually compatible with the surrounding buildings.
- 3. Additions to Existing Buildings:
 - a. Additions to existing buildings should be kept to a minimum and should be compatible in scale, materials, and texture. Additions should not be visually jarring or contrasting
 - b. Additions should not be made to the public facades of existing buildings. Additions should be located to the rear or sides of existing buildings in ways which do not disturb the main public facades.
 - c. The creation of an addition through enclosure of a front façade porch is inappropriate and should be avoided.

Photo's:

Renderings of proposed house



Proposed site plan





Surrounding properties:







Material Pallet



References



Staff recommendation:

1. *New construction homes should be compatible with other architectural styles in the district but reflect the era of its own construction.*
2. *Applicant to return with full plans showing all elevations, exterior specs (windows, doors, lighting, siding, etc) for approval prior to beginning construction.*
3. *The square and horizontal windows are not consistent with rhythm and patterns of contributing buildings within the district. Guidelines state that windows and doors of new buildings shall be visually compatible with surrounding buildings.*
4. *Staff recommends applicant consider some of the following to blend with surrounding properties:*
 - *Setback of the property should be in line with surrounding properties*
 - *Elevation of property should be in line with surrounding properties*

City of Opelika
Historic Preservation Commission
Staff Report



Agenda Item #: 7
Meeting Date: 8/11/22
Action Requested: COA: Removal of Tree
Location of Property: 400 N. 8th St; Northside Historic District
Petitioner: Rush Denson

Resources:

Circa 1890; Two-story, wood frame Greek Revival residence with hip roof of asphalt shingles, five bay symmetrical façade, dentils under eaves, second floor façade with 6/6 double hung sash window, first floor façade with central wood door with sidelights and transom, flanking 6/6 double hung sash windows, central partial width portico with four columns, side shed roof porch with decorative scroll work; wood frame garage. Contributing resource.

Proposal: The petitioner requests a COA for the following:

1. Remove dying tree in rear yard.

Guidelines:

A. THE ENVIRONMENT:

1. The environment consists of all exterior features in the designated historic districts which are visible to the public and includes structures, outbuildings, landscaping, streets, appurtenances, trees, mass and spacing between structures, scale, mass, color and materials of buildings that give a neighborhood its distinguishing character and contributes to its historic district designation.
2. Significant landscape features such as public parks and gardens, street lighting, signs, street benches, sidewalks, streets, alleys and building setbacks that have traditionally been maintained in the historic district and that contribute to its historic character should be retained. Existing streets should not be widened. paving material should not be changed to a different texture and color. Inappropriate new streets or parking lots incompatible with the neighborhood should not be constructed. *(updated 08/12/14)*
3. New plant materials, fencing, walkways, housing and other outdoor lights, signs, benches, etc. should be compatible with the character of the neighborhood in size, scale, material and color.
4. Plant material should be maintained so as not to become a hazard to the public, public property or shall not be allowed to cause deterioration to structures.
5. Existing street trees should not be removed without a plan for replacement. *(updated 08/12/14)*

The following items DO NOT require a COA:

- Back yard Tree house, swing sets and trampolines
- Benches and other outdoor furniture and accessories
- Sculpture and another outdoor artwork
- Pools and patios
- Tree pruning, clearing of overgrown bushes, vines, saplings, etc.
- Tree removal (less than 4" diameter at breast height or diseased).
- Planting new trees, shrubs, ground cover, etc.
- Landscape edging
- Flower, vegetable and rock gardens
- Flowerpots, planters, window boxes, birdbaths, bird houses, etc.
- Adding gravel to existing driveways
- Patching deteriorated concrete or asphalt pavement, walks, steps, etc.

The following commonly requested projects require a COA:

- Changes to stone walls and other historic site features
- New or expanded parking areas/lots
- New and expanded driveways and walkways
- Staff approval for change of materials (i.e. gravel to concrete)

Photo's:





William T. Montgomery
Forester and Arborist//Retired
Opelika, Alabama 36801

To Whom It May Concern:

After evaluation of the tree above the Denson residence in Opelika, it is my professional opinion that the tree poses a significant threat to the Denson home. The tree is dying and the limbs, if the tree is left standing, could damage the home. The tree needs to be removed to prevent any damage to the home and even surrounding gardens and property.

William T. Montgomery

Staff recommendation:

1. *Staff recommends approval of removing dying tree before damage is done to structure based on its close proximity to home and arborist report.*